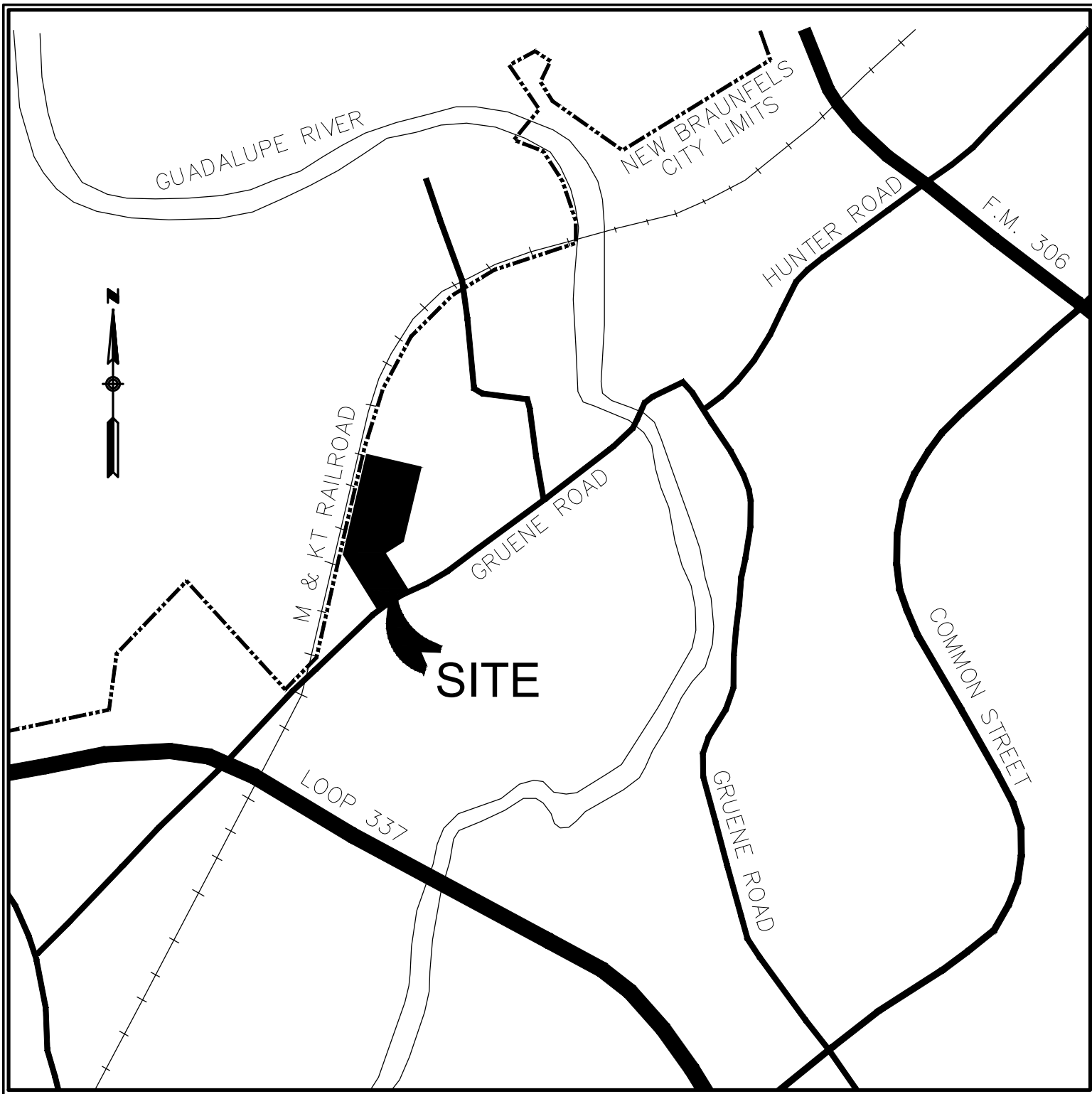


Drawing Name: N:_Projects\170 - James\sgp\170 - James\sgp\170-004 - Villages at Gruene Garden Homes\04\170-004_C00R.dwg User: hank-criggen Jun 03, 2020 - 5:07pm



PROJECT LOCATION MAP
PROJECT BENCHMARK

SCALE: N.T.S.

SITE TBM #1
SET RAILROAD SPIKE IN POWER POLE
N: 13815538.45
E: 2249823.11
ELEV: 670.45

SITE TBM #2
SET RAILROAD SPIKE IN POWER POLE
N: 13815293.73
E: 2249782.10
ELEV: 666.59

LEGAL DESCRIPTION

BEING A 14.866 ACRE TRACT OF LAND SITUATED IN THE J.M. VERAMENDI SURVEY NO. 1, ABSTRACT NO. 2, COMAL COUNTY, TEXAS AND BEING ALL OF A CALLED 10 ACRE TRACT OF LAND (TRACT I), AND ALL OF A CALLED 10 ACRE TRACT (TRACT II), LESS AND EXCEPT A CALLED 2 ACRE TRACT (TRACT III), AND A CALLED 3.222 ACRE TRACT (TRACT IV), AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NO. 201706002953 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS.

PLEASE NOTE: NBU REQUIRES GPS POINTS FOR CERTAIN ELECTRIC, WATER AND WASTEWATER ATTRIBUTES, SOME OF WHICH MUST BE TAKEN PRIOR TO BACKFILL DURING CONSTRUCTION.

GPS POINTS SHALL BE REQUIRED FROM THE DEVELOPER'S CONTRACTOR OR ENGINEER. A MINIMUM OF THREE COORDINATE POINTS FOR GEOREFERENCING SHALL BE REQUIRED. THE WATER AND WASTEWATER GPS POINTS SHALL BE TO SURVEY GRADE. THE ELECTRIC GPS POINTS SHALL BE TO MAP GRADE.

WATER
VERTICAL BENDS AND EDGE OF STEEL CASING (IF APPLICABLE) PRIOR TO BACKFILL
HORIZONTAL BENDS PRIOR TO BACKFILL
TEES PRIOR TO BACKFILL
FITTINGS (REDUCERS AND COUPLINGS) PRIOR TO BACKFILL
FIRE HYDRANTS (TOP OF FLANGE)
VALVES
METERS (TOP CENTER OF BOX)
BLOW OFF ASSEMBLY
CORNER SLAB OF WATER TANK & GATE VALVE ON WATER TANK

WASTEWATER
MANHOLES
CLEANOUTS
CORNER SLAB OF LIFT STATION

ELECTRIC
POLES
TRANSFORMERS, BOTH ABOVE AND UNDERGROUND (FRONT LOCK)
PULL BOXES
STREET LIGHTS

COORDINATE GPS REQUIREMENTS WITH NBU INSPECTOR

GENERAL NOTES:

- IF CONSTRUCTION HAS NOT COMMENCED WITHIN ONE-YEAR OF CITY APPROVAL FOR CONSTRUCTION INSPECTION, THAT APPROVAL IS NO LONGER VALID.
- THE MOST CURRENT EDITIONS OF THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES SHALL BE FOLLOWED FOR ALL CONSTRUCTION EXCEPT AS AMENDED BY THE CITY OF NEW BRAUNFELS STANDARD DETAILS.
- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF NEW BRAUNFELS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER IN RECORD.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE CITY OF NEW BRAUNFELS TO SET A PRE-CONSTRUCTION MEETING. A 48-HOUR ADVANCED NOTIFICATION IS REQUIRED FOR ALL INSPECTION AND MEETING REQUESTS.
 - ALL INSPECTIONS ARE TO BE CALLED IN AT 830-221-4068 OR,
 - FAXED IN AT 830-608-2117 OR,
 - E-MAILED AT INSPECTIONS@NBTEXAS.ORG.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL DEVICES ARE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IF THE NEED ARISES, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES MAY BE ORDERED BY THE ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
- THIS DEVELOPMENT IS A TYPE 3 DEVELOPMENT.
- NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR. FLOOD), AS DEFINED BY THE COMAL COUNTY, TEXAS, FIRM PANEL NUMBER 48091C455F EFFECTIVE DATE SEPTEMBER, 2, 2009, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THIS PROJECT IS LOCATED WITHIN THE JURISDICTIONAL BOUNDARY OF THE EDWARDS AQUIFER AUTHORITY AND WITHIN THE EDWARDS AQUIFER AUTHORITY RECHARGE ZONE.
- GAS UTILITIES ARE NOT INCLUDED IN THE CIVIL CONSTRUCTION PLANS. FINAL GAS UTILITY DESIGN SHALL BE APPROVED BY THE CITY FOR ANY WORK WITHIN PUBLIC RIGHT-OF-WAY.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF CHRISTOPHER P. VAN HEERDE P.E. # 93047 ON 6/3/20. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

06/03/2020

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF NEW BRAUNFELS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER OF RECORD.

Christopher P. Van Heerde
P.E. Registration No. 93047

PREPARED BY:



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TBPE FIRM F-10961
TBPLS FIRM 1053600

NOTE TO CONTRACTOR:

BY THE ACT OF SUBMITTING A BID FOR THIS PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS, SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS' AND MATERIAL SUPPLIERS' KNOWLEDGE, ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AND/OR DEPTHS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT EACH OF THE INDIVIDUAL UTILITIES FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITY CROSSINGS PRIOR TO BEGINNING ANY CONSTRUCTION.

VILLAGE AT GRUENE
CONDOMINIUMS
NEW BRAUNFELS, TEXAS
CIVIL SITE CONSTRUCTION PLANS

VILLAGES AT GRUENE NB, L.L.C.
4372 N. LOOP 1604 W. #206
SHAVANO PARK, TEXAS 78249

REQUIRED PERMITS

NUMBER

- | | |
|----------------------------|--------------------------------|
| 1. CITY OF NEW BRAUNFELS | # CP2019-1890 |
| 2. NEW BRAUNFELS UTILITIES | W-150613, WW-150614 |
| 3. TCEQ | RN110919453
ID NO. 13001056 |

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VILLAGE AT GRUENE CONDOMINIUMS
CIVIL SITE CONSTRUCTION PLANS

HMT # 170-004

Drawing Name: N:\Projects\170 - James Gorden Homes\170\004 - Villages at Gruene Gorden Homes\170\004 - CDR\04.dwg User: hank-crispin Jan 03, 2020 - 5:07pm

CITY OF NEW BRAUNFELS GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL COMPLY WITH:

A. CURRENT CITY OF NEW BRAUNFELS CONSTRUCTION SPECIFICATIONS AND STANDARDS AS OF THE DATE OF THIS CONTRACT

B. THE MOST CURRENT EDITION OF TEXAS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES".

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT TEXAS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES," ALONG WITH CURRENT CITY OF NEW BRAUNFELS AND COMAL COUNTY SPECIFICATIONS. ANY DISCREPANCIES BETWEEN SPECIFICATIONS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

CONTRACTOR SHALL PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, FEES, AND TAXES AREA AND GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.

ANY EXISTING OFF-SITE IMPROVEMENTS THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE OWNER OF THE EXISTING IMPROVEMENT AT THE CONTRACTOR'S EXPENSE. (NO SEPARATE PAY ITEM)

WORK COMPLETED BY THE CONTRACTOR WHICH HAS NOT RECEIVED A WORK ORDER OR CONSENT OF THE OWNER OR ENGINEER WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.

CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIAL IN THE 100YR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.

BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL BE LOCATED TO PROVIDE MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT WHILE PROVIDING CONTINUOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL DEVICES DURING CONSTRUCTION.

CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. THE TERM "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH HORIZONTAL AND VERTICAL ALIGNMENT.

WHEN MATCHING EXISTING PAVEMENTS, CURBS, DRIVES, AND WALKS, THEY SHALL BE SAW CUT FULL DEPTH AND REMOVED TO ALLOW FOR PROPOSED CONSTRUCTION. IF ANY EXISTING JOINT IS ENCOUNTERED, PRECAUTION SHALL BE TAKEN DURING REMOVAL OF CONCRETE SO AS NOT TO DAMAGE EXISTING DOWELS. ALL EXISTING DOWELS SHALL BE EXPOSED AND CLEANED.

ITEM OF WORK DESIGNATED "BY OTHERS" SHALL NOT BE CONSIDERED PART OF THIS CONTRACT.

ALL "COMPACTED SUBGRADE" SHALL CONSIST OF NATIVE MATERIAL SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES AND COMPACTED TO 95% DENSITY ACCORDING TO DENSITY TEST METHOD TEX-115E OR ACCORDING TO ASTM D-698 AND TESTED BY ASTM D-2922.

ALL "FLEXIBLE BASE" SHALL BE TYPE "A", GRADE 4, ACCORDING TO TxDOT ITEM 247, COMPACTED TO 95% MODIFIED DENSITY AT A MOISTURE CONTENT BETWEEN -2 AND +3 OF OPTIMUM PERCENT MOISTURE ACCORDING TO ASTM D-1557 (MODIFIED PROCTOR) AND TESTED BY ASTM D-2922.

ASPHALT PAVEMENT SHALL BE THE TYPE SPECIFIED ON THE PLANS AND ACCORDING TO TxDOT ITEM 340 "HOT MIX ASPHALT CONCRETE PAVEMENT".

PRIME COAT USING MC-30 AT A RATE OF 0.2 GALLONS PER SQUARE YARD SHALL BE PLACED OVER PREPARED BASE AT LEAST ONE DAY PRIOR TO LAYING ASPHALTIC CONCRETE PAVEMENT. ANY NECESSARY TACK COAT SHALL BE MC-30 AT 0.05 GALLONS PER SQUARE YARD. IT IS REQUIRED THAT BOTH THE PRIME COAT AND THE TACK COAT BE APPLIED AT THE TEMPERATURE SPECIFIED UNDER TxDOT ITEM 300.3.

CONCRETE SHALL BE CLASS "A" ACCORDING TO TxDOT ITEM 421 UNLESS OTHERWISE ON PLANS.

REINFORCING STEEL SHALL BE FROM NEW BILLET AND SHALL CONFORM TO TxDOT ITEM 440. ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTER OF BARS EXCEPT WHEN REFERRING TO CLEARANCE.

ALL SAWED JOINTS SHALL BE SAWED WITHIN 24 HOURS OF POURING.

ABSOLUTELY NO WELDING OF REINFORCING BARS OR TORCHING TO BEND REINFORCING BARS SHALL BE ALLOWED WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

ORDINARY COMPACTION CONTROL IS REQUIRED ON THIS PROJECT.

ALL ROLLING FOR COMPACTION OF ASPHALTIC CONCRETE PAVEMENT SHALL BE COMPLETED BEFORE THE MIXTURE TEMPERATURE DROPS BELOW 175 DEG. (F).

ALL FILL MATERIAL SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL.

CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO THE NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNERS AND THE ENGINEER AND HIS EMPLOYEES, PARTNERS, OFFICES, DIRECTORS, OR CONSULTANTS, HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER, ENGINEER'S DIRECTORS, OFFICERS, EMPLOYEES, OR CONSULTANTS.

ALL CMP (CORRUGATED METAL PIPE) USED ON THIS PROJECT SHALL HAVE A MANNING'S "N" VALUE OF 0.024, UNLESS OTHERWISE SHOWN ON PLANS.

CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTING PER CURRENT CITY OF NEW BRAUNFELS REQUIREMENTS. ALL TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. ENGINEER AND OWNER RESERVE THE RIGHT TO HAVE THE CONTRACTOR REMOVE AND REPLACE ANY MATERIAL THAT WAS NOT TESTED OR FAILED TESTING. ALL COST ASSOCIATED WITH THE REMOVAL, REPLACEMENT AND TESTING SHALL BE PAID BY THE CONTRACTOR.

ALL PVC SLEEVES SHALL BE INSTALLED 3 FEET BELOW FINISHED GRADE AND ENDS SHALL BE MARKED SO THAT LOCATIONS OF SLEEVES CAN BE EASILY IDENTIFIED.

PRE-CONSTRUCTION CONFERENCE IS REQUIRED. ENGINEER WILL ARRANGE SUCH CONFERENCE IN COORDINATION WITH CITY OF NEW BRAUNFELS STREET INSPECTOR & NEW BRAUNFELS UTILITIES INSPECTOR. NO CONSTRUCTION MAY BEGIN PRIOR TO THE PRE-CONSTRUCTION CONFERENCE.

CONTRACTOR SHALL COORDINATE WITH DRY UTILITY INSTALLERS AND SHARED TRENCHING SHALL BE UTILIZED, CUTTING THE STREETS AFTER COMPLETION BY DRY UTILITIES SHALL NOT BE ACCEPTABLE.

AS PER PLATTING ORDINANCE SECTION 118-38M.: WHEN ALL IMPROVEMENTS ARE FOUND TO BE CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND WITH THE CITY'S STANDARD PLANS AND PLANS OF "RECORD DRAWINGS" PLANS, AND A DIGITAL COPY OF ALL PLANS (AUTOCAD 2000 MINIMUM) THE CITY ENGINEER SHALL ACCEPT SUCH IMPROVEMENTS FOR THE CITY OF NEW BRAUNFELS, SUBJECT TO THE GUARANTY OF MATERIAL AND WORKMANSHIP PROVISIONS IN THIS SECTION.

EROSION / SEDIMENTATION CONTROL

AT A MINIMUM, THESE CONTROLS SHALL CONSIST OF ROCK BERMS AND/OR SILT FENCES CONSTRUCTED PARALLEL TO AND DOWN GRADIENT FROM THE TRENCHES. THE ROCK BERM OR SILT FENCES SHALL BE INSTALLED IN A MANNER SUCH THAT ANY RAINFALL RUNOFF SHALL BE FILTERED. HAY BALES SHALL NOT BE USED FOR TEMPORARY EROSION AND SEDIMENTATION CONTROLS.

ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE THE CONTROLS WHEN VEGETATION IS ESTABLISHED AND THE CONSTRUCTION AREA IS STABILIZED {31 TAC 313.5 (C){12}}. ADDITIONAL PROTECTION MAY BE REQUIRED IF EXCESSIVE SOLIDS ARE BEING DISCHARGED FROM THE SITE.

ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER/ENGINEER.

PLACEMENT OF TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION PLANS. ACTUAL LOCATIONS MAY VARY SLIGHTLY FROM THE PLANS, BUT WILL BE VERIFIED BY THE ENGINEER/INSPECTOR IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE CONTROLS AT WEEKLY INTERVALS AND AFTER EVERY SIGNIFICANT RAINFALL TO INSURE DISTURBANCE OF THE STRUCTURES HAS NOT OCCURRED. SEDIMENT DEPOSITED AFTER A RAINFALL SHALL BE REMOVED FROM THE SITE OR PLACED IN AN ENGINEER APPROVED DESIGNATED DISPOSAL AREA.

CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT NO EROSION CONTROL MEASURES BLOCK THE DRAINAGE SYSTEM FROM WORKING AS DESIGNED.

UTILITIES

LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION, INCLUDING THOSE NOT SHOWN ON THE DRAWINGS.

ANY EXISTING UTILITIES, ON OR OFF THE SITE, THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE RESPECTIVE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION AT:

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION

NEW BRAUNFELS UTILITIES (WATER AND SEWER) (830) 608-8971

NEW BRAUNFELS UTILITIES (ELECTRIC) (830) 608-8951

CHARTER SPECTRUM (800) 706-7376

CENTERPOINT ENERGY (GAS) (830) 643-6434

AT&T (830) 303-1333

TEXAS ONE CALL SYSTEM (800) 245-4545

ENERGY TRANSFER (PETROLEUM PIPELINE) (210) 262-2486

CONTRACTOR SHALL REFERENCE NEW BRAUNFELS UTILITIES PLANS FOR FINAL ELECTRICAL LINE DESIGNS AND LAYOUT.

WASTEWATER NOTES

REVISED 3/31/11

1. THE CONTRACTOR SHALL MAINTAIN SERVICE TO EXISTING WASTEWATER SYSTEM AT ALL TIMES DURING CONSTRUCTION.
2. A MINIMUM OF 8" WASTEWATER PIPE AND FITTING (P.V.C. SDR-26, ASTM, D-3034, D-3212, F-477) ARE REQUIRED ON NEW INSTALLATION.
3. ALL RESIDENTIAL WASTEWATER SERVICE LATERALS SHALL BE EXTENDED TO THE PROPERTY LINE AND A CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE. SERVICES TO LOTS WILL EXTEND FOUR (4) FEET PAST THE UNDERGROUND ELECTRIC CONDUIT IF ELECTRIC IS INSTALLED IN THE FRONT EASEMENT.
4. PIPE BEDDING OF WASTEWATER LINES SHALL BE MANUFACTURED SAND OR PEA GRAVEL AS PER NBU SPECIFICATIONS.
5. SECONDARY BACKFILL OF WASTEWATER LINES SHALL GENERALLY CONSIST OF MATERIALS REMOVED FROM THE TRENCH AND SHALL BE FREE FROM BRUSH, DEBRIS AND TRASH, NO ROCKS OR STONES HAVING ANY DIMENSION LARGER THAN 6 INCHES AT THE LARGEST DIMENSION.
6. ALL WASTEWATER PIPES SHALL HAVE COMPRESSION OR MECHANICAL JOINTS AS PER 30 TAC §217.53 (C) (2).
7. FOR WASTEWATER LINES LESS THAN 24" IN DIAMETER, SELECT INITIAL BACKFILL MATERIAL SHALL BE PLACED IN TWO LIFTS.
 - a. THE FIRST LIFT SHALL BE SPREAD UNIFORMLY AND SIMULTANEOUSLY ON EACH SIDE AND UNDER THE SHOULDERS OF THE PIPE TO THE MID POINT OR SPRING LINE OF THE PIPE.
 - b. THE SECOND LIFT SHALL BE PLACED TO A DEPTH AS SHOWN ON THE PIPE BACKFILL DETAIL. FOR PIPES LARGER THAN 24", 12" MAXIMUM LIFTS SHALL BE USED.
8. ALL MANHOLES MUST BE WATER TIGHT. EITHER MONOLITHIC, CAST-IN-PLACE CONCRETE STRUCTURES OR PREFABRICATED MANHOLES SPECIFICALLY APPROVED BY NBU. THE MANHOLES SHALL HAVE WATER-TIGHT RINGS AND COVERS. WHEREVER THEY ARE WITHIN THE 100 YEAR FLOODPLAIN, THE MANHOLE COVERS SHALL BE BOLTED. EVERY THIRD MANHOLE IN SEQUENCE SHALL HAVE AN ALTERNATE MEANS OF VENTING. 30 TAC §213.5 (C)(3)(A) AND 30 TAC §217.55 (O).
9. ALL MANHOLES SHALL BE CONSTRUCTED SO THAT THE TOP OF THE RING IS TWO INCHES (2") ABOVE SURROUNDING GROUND EXCEPT WHEN LOCATED IN PAVED AREA. IN PAVED AREAS, THE MANHOLE RING SHALL BE FLUSH WITH PAVEMENT.
10. ALL NEW MANHOLES, UNLESS APPROVED BY NBU ENGINEERING, ARE TO HAVE COVERS WITH 32" OPENINGS.
11. WASTEWATER PIPE CONNECTIONS TO PRE-CAST MANHOLES WILL BE COMPRESSION JOINTS OR MECHANICAL "BOOT" TYPE JOINT AS APPROVED BY NBU.
12. WASTEWATER LINES FROM MANHOLE TO MANHOLE.
13. IN AREAS WHERE A NEW WASTEWATER MANHOLE IS TO BE CONSTRUCTED OVER AN EXISTING WASTEWATER SYSTEM, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TEST THE EXISTING MANHOLES BEFORE CONSTRUCTION. AFTER THE PROPOSED MANHOLE(S) HAS BEEN BUILT, THE CONTRACTOR SHALL RE-TEST THE EXISTING SYSTEM TO THE SATISFACTION OF THE CONSTRUCTION INSPECTOR. (NO SEPARATE PAY ITEM).
14. WHERE THE MINIMUM 9 FOOT SEPARATION DISTANCE BETWEEN WASTEWATER LINES AND WATER LINES / MAINS CANNOT BE MAINTAINED, THE INSTALLATION OF WASTEWATER LINES SHALL BE IN STRICT ACCORDANCE WITH TCEQ. THE WASTEWATER LINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC MEETING THE ASTM SPECIFICATION FOR BOTH PIPES AND JOINTS OF 150 PSI AND SHALL BE IN ACCORDANCE WITH 30 TAC §217.53 (D) (3) (A) (I).
15. NO TESTING WILL BE PERFORMED PRIOR TO 30 DAYS FROM COMPLETE INSTALLATION OF THE WASTEWATER LINES. THE FOLLOWING SEQUENCE WILL BE STRICTLY ADHERED TO:
 - a. PULL MANHOLE
 - b. PERFORM AIR TEST
 - c. CLEANING OF ANY DEBRIS
 - d. FLUSHING OF SYSTEM
 - e. TV INSPECTION (WITHIN 72 HOURS OF FLUSHING)
16. A MINIMUM OF 3 FEET OF COVER IS TO BE MAINTAINED OVER THE WASTEWATER MAIN AND LATERALS AT SUBGRADE, OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
17. WASTEWATER MAIN CONNECTIONS MADE DIRECTLY TO EXISTING MANHOLES WILL REQUIRE SUCCESSFUL TESTING OF THE MANHOLE IN ACCORDANCE WITH NBU CONNECTION & CONSTRUCTION POLICY MANUAL.
18. TCEQ AND EPA REQUIRE EROSION AND SEDIMENTATION CONTROL FOR CONSTRUCTION OF WASTEWATER COLLECTION SYSTEMS. DEVELOPER OR AUTHORIZED REPRESENTATIVE SHALL PROVIDE EROSION AND SEDIMENTATION CONTROL AS NOTED ON THE PROJECT'S PLAN AND PROFILE SHEETS. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY NBU WATER SYSTEMS.
19. ALL MANHOLES NOT WITHIN PAVED STREETS SHALL HAVE LOOKING CONCRETE COLLAR TO SECURE RING AND COVER TO MANHOLE CONE PER NBU DETAIL DRAWING #329.
20. ALL MANHOLES OVER THE EDWARDS AQUIFER RECHARGE ZONE SHALL HAVE LOOKING CONCRETE COLLAR TO SECURE RING AND COVER TO MANHOLE CONE PER NBU DETAIL DRAWING #329.

WATER NOTES

REVISED 5/16/19

1. ALL WATER MAINS SHALL BE AWWA C900 (CLASS 150 OR GREATER).
2. WATER SERVICE SHALL BE SINGLE T COPPER PIPING.
3. WATER LINE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE NBU SYSTEMS CONNECTION & CONSTRUCTION POLICY.
4. WATER MAIN SHALL HAVE A MINIMUM OF 42 INCHES OF COVER, OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
5. EACH UNIT IN A DUPLEX, TRIPLEX, FOURPLEX, OR CONDOMINIUM SHALL BE PROVIDED WITH AN INDIVIDUAL WATER METER. A MASTER METER CAN BE CONSIDERED FOR SEPARATE BUILDINGS, HOWEVER, THOSE BUILDINGS MUST BE PLUMBED TO ALLOW SEPARATE METERS FOR FUTURE CONSIDERATION.
6. CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE WATER METER BOX FREE OF ALL OBJECTS AND DEBRIS.
7. INITIAL BACKFILL OF WATER LINES SHALL BE MANUFACTURED SAND OR PEA GRAVEL AS PER NBU SYSTEMS CONNECTION & CONSTRUCTION POLICY.
8. SECONDARY BACKFILL OF WATER LINES SHALL GENERALLY CONSIST OF MATERIAL REMOVED FROM THE TRENCH AND SHALL BE FREE FROM BRUSH, DEBRIS AND TRASH OR STONES HAVING ANY DIMENSION LARGER THAN 6 INCHES AT THE LARGEST DIMENSION.
9. HYDROSTATIC TESTING IS DONE FROM VALVE TO VALVE.
10. NO METER BOXES TO BE SET IN DRIVEWAYS OR SIDEWALKS. ANY METER BOXES SET IN DRIVEWAYS OR SIDEWALKS MUST BE RELOCATED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
11. METER BOXES MUST BE SET AT THE PROPOSED GRADE. ANY METER BOXES THAT ARE NOT SET AT THE FINAL GRADE WILL BE ADJUSTED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
12. ACCEPTABLE METER BOXES ARE D13-BAMR AND D15-BAMR. NEW RESIDENTIAL LOTS ARE REQUIRED TO USE THE D15-BAMR METER BOXES (DOUBLE AMR). COMMERCIAL LOTS SHOULD CHOOSE WHICH BOX APPLIES TO THE DOMESTIC AND/OR IRRIGATION METER LAYOUT.
13. THRUST BLOCKS WILL NOT BE ALLOWED ON THE SYSTEM WITHOUT SPECIAL APPROVAL. JOINTS WILL BE RESTRAINED WITH RESTRAINING SYSTEMS APPROVED BY NBU AND RESTRAINT LENGTH SHALL BE SUBMITTED TO NBU AT THE TIME OF PLAN SUBMITTAL.
14. CONTRACTOR SHALL PLACE TRACER WIRE ON TOP OF THE WATER MAINS. TRACER WIRE SHOULD RUN FROM VALVE TO VALVE AND EXIT AT THE VALVE BOX. THE TRACER WIRE SHOULD BE ATTACHED TO THE TOP OF THE PIPE USING TAPE. EXCESS WIRE SHOULD BE LEFT WITHIN VALVE BOXES TO BE PLACED WITHIN 10' OF COVER.
15. WATER QUALITY SHALL BE PROTECTED WITH APPROPRIATE BACKFLOW PREVENTION ASSEMBLIES INSTALLED ON ALL IRRIGATION SYSTEMS, FIRE SUPPRESSION SYSTEMS AND MULTI-UNIT COMPLEXES ALONG WITH MULTI-LEVEL PROPERTIES ON THE DOMESTIC METER CONTAINMENT. NBU CAN ASSIST WITH THE DECISION ON APPROPRIATE BACKFLOW ASSEMBLIES ON A CASE BY CASE BASIS. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM
16. ALL BACKFLOW PREVENTION ASSEMBLIES MUST BE TESTED UPON INSTALLATION AND REPORT SENT TO NBU VIA THE ONLINE TRACKING SYSTEM. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM
17. ALL RESIDENTIAL AND COMMERCIAL PROPERTIES SHALL HAVE A CUSTOMER SERVICE INSPECTION CERTIFICATE (CSI INSPECTION) COMPLETED UPON COMPLETION OF THE BUILDING OR HOME STRUCTURE. CONTACT NBU BACKFLOW PREVENTION SPECIALIST FOR MORE DETAILS. EMAIL QUESTIONS TO CROSSCONNECTION@NBUTEXAS.COM

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROLS PER APPROVED PLAN.
2. TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
3. CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
4. CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
5. CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
6. CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
7. INSTALL STREETScape AND/OR LANDSCAPING IMPROVEMENTS.
8. CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF BOX VEGETATION PRIOR TO COMPLETION
9. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
10. TPDES REQUIREMENTS DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY WILL BEGIN AGAIN WITHIN 21 DAYS

GENERAL NBU NOTES

REVISED 3/31/11

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THE PROJECT SHALL BE APPROVED BY NEW BRAUNFELS UTILITIES AND COMPLY WITH THE CURRENT "NEW BRAUNFELS UTILITIES WATER SYSTEMS CONNECTION/CONSTRUCTION POLICY".
2. CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE PLANS FROM THE CONSULTANT OR ENGINEER AND NOTIFY NBU WATER SYSTEMS ENGINEERING AT 830-608-8971 WITH AT LEAST TWO (2) WORKING DAYS (48 NOTICE. WORK COMPLETED BY THE CONTRACTOR, WHICH HAS NOT RECEIVED A NOTICE TO PROCEED FROM NEW BRAUNFELS UTILITIES WATER SYSTEMS ENGINEERING WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.
3. THE DEVELOPER DEDICATES THE WATER / WASTEWATER MAINS UPON COMPLETION BY THE CONTRACTOR AND ACCEPTANCE BY THE NEW BRAUNFELS UTILITIES WATER SYSTEM. NBU WILL OWN AND MAINTAIN SAID WATER / WASTEWATER MAINS WHICH ARE LOCATED WITHIN PLATTED UTILITY EASEMENTS OR PUBLIC ROW OF PROPOSED DEVELOPMENTS. (AS APPLICABLE).
4. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNERS AND THE ENGINEER AND HIS EMPLOYEES, PARTNERS OFFICERS, DIRECTORS, OR CONSULTANTS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER, ENGINEER'S DIRECTORS, OFFICERS, EMPLOYEES, OR CONSULTANTS.
5. CONTRACTOR TO CONTACT THE ENGINEER-OF-RECORD (EOR) FOR ANY FIELD CHANGES, ANY REQUESTS OR CHANGES TO THE APPROVED CONSTRUCTION PLANS WILL REQUIRE ADDITIONAL APPROVAL BY NBU IN WRITING.
6. CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION, ANY DAMAGES DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES, AND EXISTING UTILITIES (NOT ADJUSTED ON PLANS). COST OF RESTORATIONS, IF ANY, SHALL BE THE CONTRACTOR'S ENTIRE EXPENSE.
8. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION.
9. CONTRACTOR SHALL PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, FEES AND TAXES AND GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.
10. NO EXTRA PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS BUT NOT INCLUDED ON THE BID SCHEDULE. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED UNDER THE PAY ITEM TO WHICH IT RELATES.
11. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PERMANENTLY PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.
12. THE CONTRACTOR SHALL NOT PLACE ANY MATERIALS ON THE RECHARGE ZONE OF THE EDWARDS AQUIFER WITHIN THE PROPOSED WATER POLLUTION ABATEMENT PLAN FROM THE TCEQ 31 TAC 313.4 AND 31 TAC 313.9.
13. BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL BE LOCATED TO PROVIDE MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT WHILE PROVIDING CONTINUOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL DEVICES DURING CONSTRUCTION.
14. CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. THE TERM "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH HORIZONTAL AND VERTICAL ALIGNMENT.
15. THE LOCATION OF UTILITIES, EITHER UNDERGROUND OR OVERHEAD, SHOWN WITHIN THE RIGHT OF WAY ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION OPERATIONS.
16. OSHA REGULATIONS PROHIBIT OPERATIONS THAT WILL BRING PERSONS OR EQUIPMENT WITHIN 10 FEET OF AN ENERGIZED LINE. WHERE WORKMEN AND/OR EQUIPMENT HAVE TO WORK CLOSE TO AN ENERGIZED ELECTRICAL LINE, THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL POWER COMPANY INVOLVED AND MAKE WHATEVER ADJUSTMENTS NECESSARY TO ENSURE THE SAFETY OF THOSE WORKMEN.
17. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION. CONTRACTORS SHALL CALL THE ONE CALL SYSTEM FOR WATER/WASTEWATER LOCATION.
18. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192 (8), GAS COMPANIES MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
19. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE TRAFFIC CONTROL AND WILL BE RESPONSIBLE FOR FURNISHING ALL TRAFFIC CONTROL DEVICES, AND FLAGGERS. THE CONSTRUCTION METHODS SHALL BE CONDUCTED TO PROVIDE THE LEAST POSSIBLE INTERFERENCE TO TRAFFIC SO AS TO PERMIT THE CONTINUOUS MOVEMENT OF THE TRAFFIC IN ONE DIRECTION AT ALL TIMES. THE CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE WORK AREA ANY LOOSE MATERIAL RESULTING FROM CONTRACT OPERATIONS AT THE END OF EACH WORKDAY.
20. PRIOR TO ORDERING MATERIALS TO BE USED IN CONSTRUCTION, CONTRACTOR SHALL PROVIDE THE ENGINEER WITH FOUR (4) COPIES OF THE SOURCE, TYPE, GRADATION, MATERIAL SPECIFICATION DATA AND / OR SHOP DRAWINGS, AS APPLICABLE, TO SATISFY THE REQUIREMENTS OF THE FOLLOWING ITEMS AND ALL MATERIAL ITEMS REFERRED TO IN THESE LISTED ITEMS:
 - A. WATER MAINS AND SERVICES
 - B. WASTEWATER MAINS AND SERVICES
21. THRUST BLOCKS WILL NOT BE ALLOWED ON THE SYSTEM WITHOUT SPECIAL APPROVAL. JOINTS WILL BE RESTRAINED WITH RESTRAINING SYSTEMS APPROVED BY NBU AND RESTRAINT LENGTH SHALL BE SUBMITTED TO NBU AT THE TIME OF PLAN SUBMITTAL.
22. WATER JETTING THE BACKFILL WITHIN A STREET WILL NOT BE PERMITTED. WASTEWATER TRENCHES SUBJECT TO TRAFFIC SHALL CONFORM TO NBU CONNECTION AND CONSTRUCTION POLICY MANUAL.
23. WHERE THE MINIMUM 9 FOOT SEPARATION DISTANCE BETWEEN WASTEWATER LINES AND WATER LINES / MAINS CANNOT BE MAINTAINED, THE INSTALLATION OF WASTEWATER LINES SHALL BE IN STRICT ACCORDANCE WITH 30 TAC 217.
24. CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
25. UTILITY TRENCH COMPACTION WITH STREET R.O.W.
- A. ALL UTILITY TRENCH COMPACTION TEST WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER.
- B. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE.
- C. EACH LAYER OF MATERIAL SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E.
- D. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR.
- E. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

CITY OF NEW BRAUNFELS CONSTRUCTION NOTES

REVISED 01/2019

IF CONSTRUCTION HAS NOT COMMENCED WITHIN ONE-YEAR OF CITY APPROVAL FOR CONSTRUCTION INSPECTION, THAT APPROVAL IS NO LONGER VALID.

THE MOST CURRENT EDITIONS OF THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES SHALL BE FOLLOWED FOR ALL CONSTRUCTION EXCEPT AS AMENDED BY THE CITY OF NEW BRAUNFELS STANDARD DETAILS.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF NEW BRAUNFELS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER OF RECORD.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY OF NEW BRAUNFELS TO SCHEDULE A PRECONSTRUCTION MEETING.

FOR PUBLIC INFRASTRUCTURE PERMIT (SC) OR SITE PREP PERMIT (SD) PROJECTS:

- FOR INSPECTIONS, YOU MUST CALL BEFORE 12:00 P.M., 48 HOURS PRIOR TO YOUR INSPECTION REQUEST.
- EACH INSPECTION WILL BE ALLOTTED 1 HOUR UNLESS YOU REQUEST FOR MORE TIME.
- ONCE YOUR REQUEST HAS BEEN ACCEPTED, YOU WILL RECEIVE A CALL FROM THE CITY OF NEW BRAUNFELS INSPECTOR.

FOR COMMERCIAL PERMIT (CP) PROJECTS:

- ALL INSPECTIONS ARE TO BE CALLED IN AT 830-221-4068 OR,
- FAXED IN AT 830-608-2117 OR,
- E-MAILED AT INSPECTIONS@NBUTEXAS.ORG.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL DEVICES ARE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IF, IN THE OPINION OF THE ENGINEERING REPRESENTATIVE AND THE CONSTRUCTION INSPECTOR, THE BARRICADES AND SIGNS DO NOT CONFORM TO ESTABLISHED STANDARDS OR ARE INCORRECTLY PLACED OR ARE INSUFFICIENT IN QUANTITY TO PROTECT THE GENERAL PUBLIC, THE CONSTRUCTION INSPECTOR SHALL HAVE THE OPTION TO STOP OPERATIONS UNTIL SUCH TIME AS THE CONDITIONS ARE CORRECTED. IF THE NEED ARISES, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES MAY BE ORDERED BY THE ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.

A TxDOT TYPE II B-B BLUE REFLECTIVE RAISED PAVEMENT MARKER SHALL BE INSTALLED IN THE CENTER OF THE ROADWAY AT EACH CORNER OF THE HYDRANT. IN LOCATIONS WHERE HYDRANTS ARE LOCATED AT THE CORNERS, BLUE REFLECTIVE RAISED PAVEMENT MARKERS SHALL BE INSTALLED ON BOTH APPROACHES WHICH FRONT THE HYDRANT. THE RAISED PAVEMENT MARKER SHALL MEET TxDOT MATERIAL, EPOXY AND ADHESIVE SPECIFICATIONS.

GROUNDWATER

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, CONTRACTOR, SUBCONTRACTORS, BUILDERS, GEO-TECHNICAL ENGINEER, AND PROJECT ENGINEER TO IMMEDIATELY NOTIFY THE OFFICE OF THE CITY ENGINEER AND PROJECT ENGINEER IF THE PRESENCE OF GROUNDWATER WITHIN THE SITE IS EVIDENT. UPON NOTIFICATION THE PROJECT ENGINEER SHALL RESPOND WITH PLAN REVISIONS FOR THE MITIGATION OF THE GROUNDWATER ISSUE. THE CITY ENGINEER SHALL RESPOND WITHIN TWO (2) BUSINESS DAYS UPON RECEIPT OF THE MITIGATION PLAN. ALL CONSTRUCTION ACTIVITY, IMPACTED BY THE DISCOVERY OF GROUNDWATER, SHALL BE SUSPENDED UNTIL THE CITY ENGINEER GRANTS A WRITTEN APPROVAL OF THE GROUNDWATER MITIGATION PLAN.

RECORD DRAWINGS

AS PER PLATTING ORDINANCE SECTION 118-38M.: WHEN ALL OF THE IMPROVEMENTS ARE FOUND TO BE CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND WITH THE CITY'S STANDARD PLANS AND PLANS OF "RECORD DRAWING" PLANS, AND A DIGITAL COPY OF ALL PLANS (PDF COPY) THE CITY ENGINEER SHALL ACCEPT SUCH IMPROVEMENTS FOR THE CITY OF NEW BRAUNFELS, SUBJECT TO THE GUARANTY OF MATERIAL AND WORKMANSHIP PROVISIONS IN THIS SECTION.

CONSTRUCTION NOTE

ENGINEER OF RECORD IS RESPONSIBLE TO ENSURE THAT EROSION CONTROL MEASURES AND STORMWATER CONTROL SUFFICIENT TO MITIGATE OFF SITE IMPACTS ARE IN PLACE AT ALL STAGES OF CONSTRUCTION.

DRAINAGE NOTE

DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE THE IMPACT OF CONSTRUCTION SHALL BE INSTALLED PRIOR TO ADDING IMPERVIOUS COVER.

FINISHED FLOOR ELEVATIONS

THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE.

SOILS TESTING

PROCTORS SHALL BE SAMPLED FROM ON-SITE MATERIAL (ON-SITE IS DEFINED AS LIMITS OF CONSTRUCTION FOR THIS

-PLAN SET) AND A COPY OF THE PROCTOR RESULTS SHALL BE DELIVERED TO THE CITY OF NEW BRAUNFELS STREET INSPECTOR PRIOR TO ANY DENSITY TESTS.

ROADWAY

ALL ROADWAY COMPACTION TESTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEOTECHNICAL ENGINEER. FLEXIBLE BASE OR FILL/EMBANKMENT MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED EIGHT INCHES (8") LOOSE. THE REQUIRED DENSITY FOR THE FILL/EMBANKMENT MATERIAL SHALL MEET THE REQUIREMENTS OF TxDOT'S SPECIFICATION ITEM 132. THE REQUIRED DENSITY FOR THE FLEXIBLE BASE MATERIAL SHALL MEET THE REQUIREMENTS OF TxDOT'S SPECIFICATION ITEM 247. EACH LAYER OF MATERIAL, INCLUSIVE OF SUBGRADE, SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF NEW BRAUNFELS STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 200 LF FOR EACH LIFT. UPON COMPLETION OF TESTING, THE GEOTECHNICAL ENGINEER WILL PROVIDE THE CITY OF NEW BRAUNFELS STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

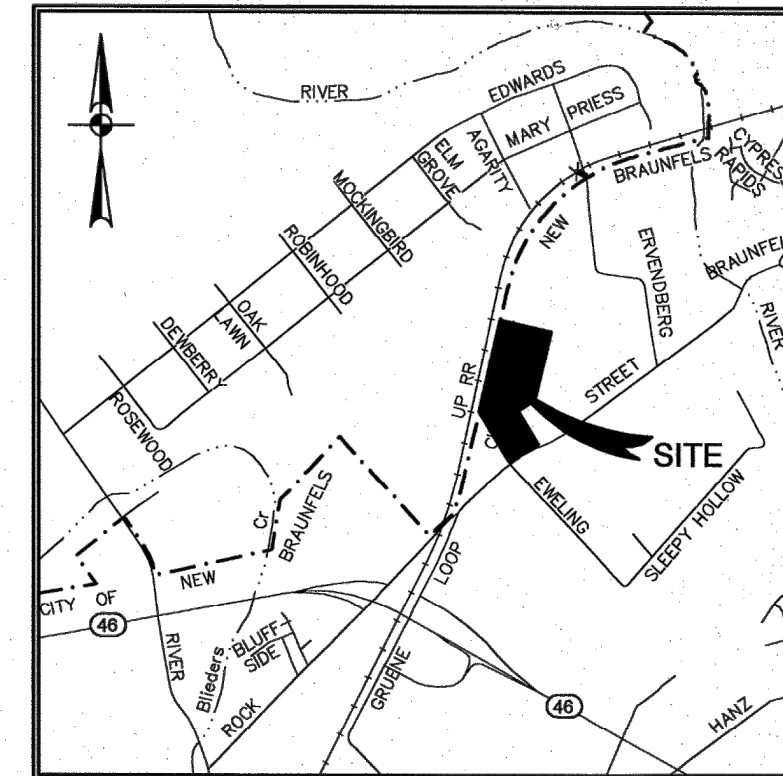
BASE, AND FILL MATERIAL, AND SUBGRADE, HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. ADDITIONAL DENSITY TESTS MAY BE REQUESTED BY THE CITY OF NEW BRAUNFELS INSPECTOR.

ITEM 340

Village at Gruene
Comal County, Texas, File #: 201806043791

MINOR PLAT ESTABLISHING
VILLAGE AT GRUENE SUBDIVISION

BEING A 14.666 ACRE TRACT OF LAND SITUATED IN THE J.M. VERAMENDI SURVEY NO. 1, ABSTRACT NO. 2, COMAL COUNTY, TEXAS AND BEING ALL OF A CALLED 10 ACRE TRACT OF LAND (TRACT I), AND ALL OF A CALLED 10 ACRE TRACT (TRACT II), LESS AND EXCEPT A CALLED 2 ACRE TRACT (TRACT III), AND A CALLED 3.222 ACRE TRACT (TRACT IV), AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NO. 201706002953 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS.



LOCATION MAP
SCALE: 1"=2,000'

APPROVED THIS THE 13th DAY OF September, 2018, BY THE CITY OF NEW BRAUNFELS, TEXAS.

[Signature]
PLANNING DIRECTOR

APPROVED FOR ACCEPTANCE

11/1/2018
DATE

10/13/18
DATE

[Signature]
CITY ENGINEER

[Signature]
NEW BRAUNFELS UTILITIES

MANAGEMENT AGENCY.

14. THIS SUBDIVISION IS SUBJECT TO THE 2006 CITY THIS SINGLE LOT PLAT IS APPROVED FOR MULTI-FAMILY USE TO CONSTRUCT A MAXIMUM OF 96 DETACHED DWELLING UNITS WHERE FEES ARE DUE PRIOR TO ISSUANCE OF ANY SITE DEVELOPMENT BUILDING PERMITS.
15. THIS SUBDIVISION LIES WITHIN THE EDWARDS AQUIFER RECHARGE ZONE. PROPERTY OWNER'S ARE REQUIRED TO FOLLOW THE APPROVED W.P.A.P., REGULATED ENTITY NO. 109268680, ADDITIONAL ID NO. 13000200, DATED 7/12/2016.
16. PERMANENT WATER QUALITY CONTROLS ARE REQUIRED FOR THIS SUBDIVISION PLAT IN ACCORDANCE WITH THE CITY OF NEW BRAUNFELS DRAINAGE AND EROSION CONTROL DESIGN MANUAL.

NEW BRAUNFELS UTILITIES NOTES:

1. MAINTENANCE OF DEDICATED UTILITY EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ANY USE OF AN EASEMENT, OR ANY PORTION OF IT, INCLUDING LANDSCAPING OR DRAINAGE FEATURES, IS SUBJECT TO AND SHALL NOT CONFLICT WITH THE TERMS AND CONDITIONS IN THE EASEMENT, MUST NOT ENDANGER OR INTERFERE WITH THE RIGHTS GRANTED BY THE EASEMENT TO NEW BRAUNFELS UTILITIES, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE SUBJECT TO APPLICABLE PERMIT REQUIREMENTS OF THE CITY OF NEW BRAUNFELS OR ANY OTHER GOVERNING BODY. THE PROPERTY OWNER MUST OBTAIN, IN ADVANCE, WRITTEN AGREEMENT WITH THE UTILITIES TO UTILIZE THE EASEMENT, OR ANY PART OF IT.
2. UTILITIES WILL POSSESS A 5' WIDE SERVICE EASEMENT TO THE DWELLING ALONG THE SERVICE LINE TO THE SERVICE ENTRANCE. THIS EASEMENT WILL VARY DEPENDING UPON LOCATION OF DWELLING AND SERVICE.
3. UTILITIES SHALL HAVE ACCESS TO THE METER LOCATIONS FROM THE FRONT YARD AND METER LOCATIONS SHALL NOT BE LOCATED WITHIN A FENCED AREA.
4. EACH LOT MUST HAVE ITS OWN WATER AND SEWER SERVICE AT THE OWNER'S/DEVELOPER'S EXPENSE.
5. DO NOT COMBINE ANY NEW UTILITY EASEMENTS (U.E.) WITH DRAINAGE EASEMENTS (D.E.) OR MAKE CHANGES IN GRADE WITHIN THE UTILITY EASEMENTS (U.E.) WITH OUT WRITTEN APPROVAL FROM NEW BRAUNFELS UTILITIES.

NOTES:

1. THE SUBDIVISION WILL BE PROVIDED WATER, SEWER AND ELECTRIC BY NEW BRAUNFELS UTILITIES.
2. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE IN GRID BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983. DISTANCES SHOWN HEREON ARE SURFACE USING COMBINED SCALE FACTOR OF 1.00015.
3. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION. MONUMENTS AND MARKERS WILL BE SET WITH 1/2" IRON PIN WITH PLASTIC CAP STAMPED "DAM #5348 PROP. COR." IMMEDIATELY AFTER COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
4. THE VILLAGE AT GRUENE SUBDIVISION FALLS INSIDE THE CITY LIMITS OF THE CITY OF NEW BRAUNFELS.
5. THE SUBDIVISION IS WITHIN THE NEW BRAUNFELS INDEPENDENT SCHOOL DISTRICT.
6. THE PROPERTY IS CURRENTLY ZONED R-2 WITH A SPECIAL USE PERMIT (ORDINANCE 2014-70)
7. A 6' WIDE SIDEWALK SHALL BE CONSTRUCTED BY THE OWNER/DEVELOPER ALONG GRUENE ROAD ONE-FOOT INSIDE THE STREET RIGHT-OF-WAY AT THE TIME OF BUILDING PERMIT.
8. NO STRUCTURES, WALLS OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING, FENCES, OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASES THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF NEW BRAUNFELS AND COMAL COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
9. THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE A FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE AND SHALL PREVENT WATER FROM LEAVING THE STREET.
10. FUTURE DEVELOPMENT IS SUBJECT TO CHAPTER 114 (STREETS, SIDEWALKS AND OTHER PUBLIC SPACES) OF THE NEW BRAUNFELS CODE OF ORDINANCES.
11. NO STRUCTURES IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC WATER SYSTEM WHICH HAS BEEN APPROVED BY NEW BRAUNFELS UTILITIES.
12. THE VILLAGE AT GRUENE SUBDIVISION, ESTABLISHING A TOTAL OF 1 LOT WHERE DWELLING UNIT COUNT WILL NOT EXCEED 96 UNITS.
13. NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN THE EXISTING SPECIAL FLOOD HAZARD ZONE A, 100-YEAR FLOOD BOUNDARY, AS DEFINED BY THE COMAL COUNTY, TEXAS COMMUNITY PANEL 48091C0455F, EFFECTIVE SEPTEMBER 2, 2009 AS PREPARED BY THE FEDERAL EMERGENCY

STATE OF TEXAS
COUNTY OF COMAL

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS VILLAGE AT GRUENE SUBDIVISION, TO THE CITY OF NEW BRAUNFELS, COUNTY OF COMAL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY SUBDIVIDE SUCH PROPERTY AND DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

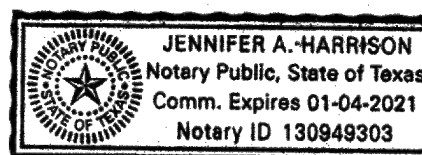
OWNER:
DIRECT ASSETS, LLC
C/O DARREN GERLOFF
14955 BULVERDE RD
SAN ANTONIO, TX 78247

STATE OF TEXAS
COUNTY OF COMAL

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 26 DAY OF September, 2018,

BY *[Signature]* Darren Gerloff

[Signature] Jennifer A. Harrison
NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES: 01-04-2021



KNOW ALL MEN BY THESE PRESENTS:

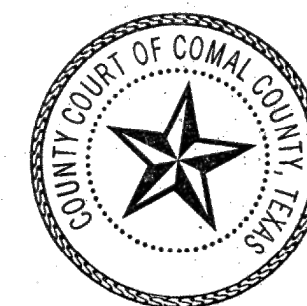
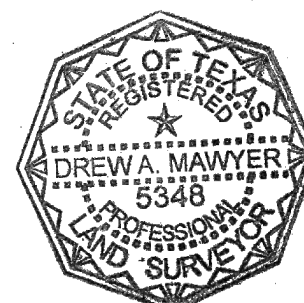
I, THE UNDERSIGNED, DREW A. MAWYER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

[Signature]
DREW A. MAWYER
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5348
D.A. MAWYER LAND SURVEYING
5151 W. SH46
NEW BRAUNFELS, TEXAS 78132
FIRM #10191500



2021 SH 46W, Ste. 105
New Braunfels, TX 78132
p h : (8 3 0) 3 5 8 - 7 1 2 7
www.ma-tx.com TBPE FIRM F-13351

LEGEND:
P.O.B. = POINT OF BEGINNING
U.L. = UTILITY EASEMENT
R.O.W. = RIGHT-OF-WAY
O = 1/2" IRON PIN SET
• = IRON PIN FOUND



FOR COMAL COUNTY

I, *[Signature]*, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOCUMENT NO. 201806043791, OF COMAL COUNTY THE 9 DAY OF November, 2018, AT 10:46 A.M. WITNESS MY HAND AND OFFICIAL SEAL, THIS THE 9 DAY OF November, A.D. 2018.

COUNTY CLERK, COMAL COUNTY, TEXAS

[Signature]
DEPUTY

PREPARED: September 26, 2018

PAGE 1 OF 2

Generated on 08/02/2019 at 09:29

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viewPlat v12.07

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TBPE FIRM F-10961
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[Signature] Christopher P. Van Heerde, P.E.

SUBDIVISION PLAT (1 OF 2)

VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

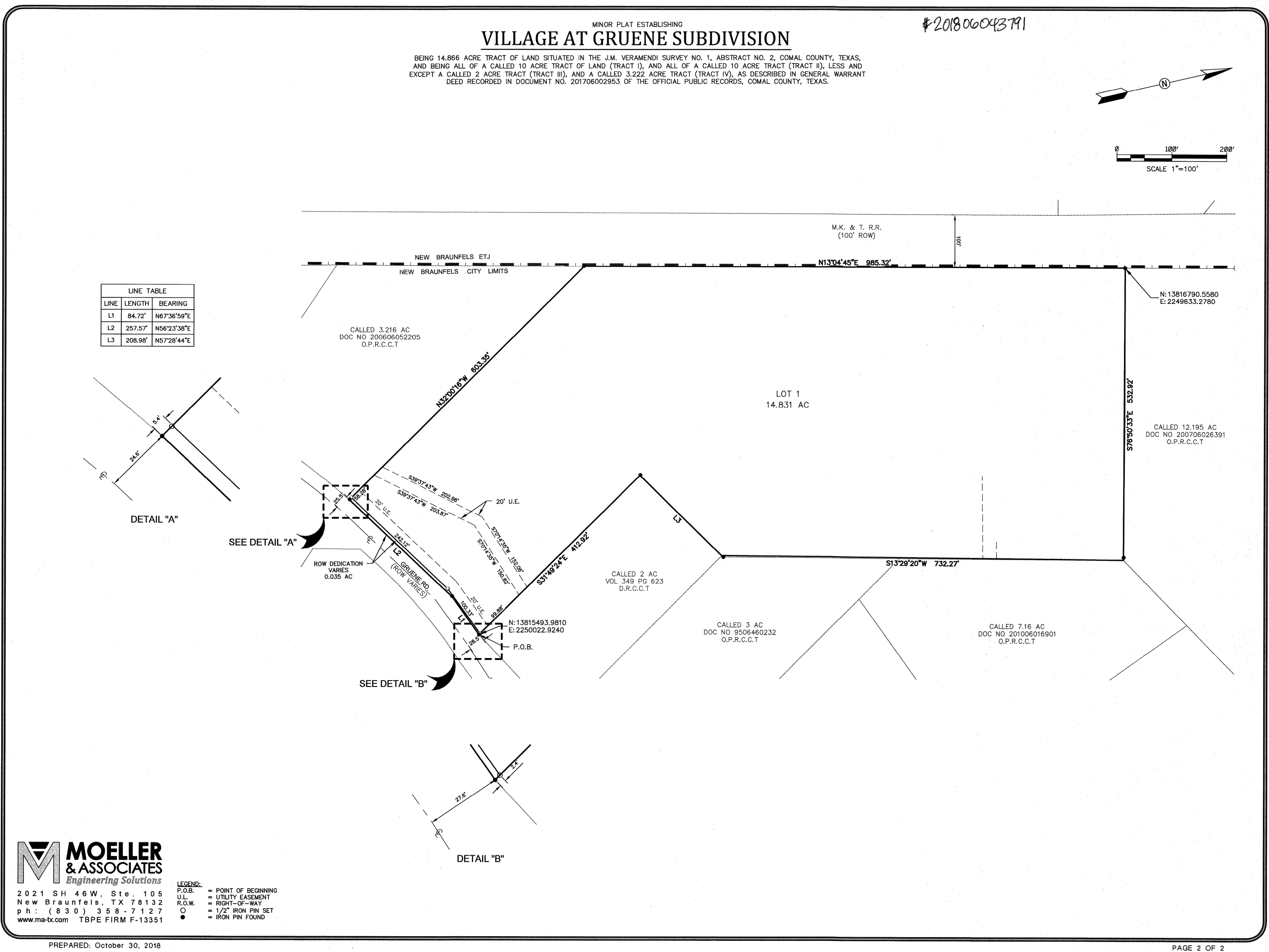
DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

SHEET
C0.4

Village at Gruene
Comal County, Texas, File #: 201806043791



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**HMT**
ENGINEERING & SURVEYING

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P.E. #93047 ON 6/3/20.
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SUBDIVISION PLAT (2 OF 2)

VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020
DRAWN BY: HLC
DESIGNED BY: HLC
REVIEWED BY: CVH
HMT PROJECT NO.: 170.004

SHEET
C0.5

Drawing Name: N:_Projects\170 - James Tophet\170.004 - Villages at Gruene Garden Homes\170.004_DEMO.dwg User: hank-crippen Jun 03, 2020 - 5:08pm



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**HMT**
ENGINEERING & SURVEYING

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Chris Van Heerde, P.E.

DEMOLITION PLAN

VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: **JUNE 2020**

DRAWN BY: **HLC**

DESIGNED BY: **HLC**

REVIEWED BY: **CWH**

HMT PROJECT NO.: **170.004**

SHEET

C1.1

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

Drawing Name: N:_Projects\170 - James Aspeth\170.004 - Villages at Gruene Garden Homes\Drawings\170.004_DRAINAGE.dwg User: hank-crippen Jun 03, 2020 - 5:08pm



Table 1 - Existing Conditions Hydrology Calculations, SCS Method - City of New Braunfels									
Point of Concentration	Description	Drainage Area	Area	T _c	CN-Value	Q ₂ (dfs)	Q ₁₀ (dfs)	Q ₂₅ (dfs)	Q ₁₀₀ (dfs)
EX A	Flow to Gruene Road	EX A	3.68	19.3	81.7	3.89	9.61	13.96	23.17
EX B	Flow onto 1644 and 1608 Gruene Road Properties	EX B	1.80	19.1	79.2	1.69	4.41	6.53	11.04
EX C	Sheet flows west to east, exiting eastern edge of property.	EX C	9.88	19.2	77.0	8.25	22.81	34.29	59.07

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EASEMENT
- G.C.E. GENERAL COMMON ELEMENT
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- DRAINAGE AREA
- TC TIME OF CONCENTRATION
- POINT OF CONCENTRATION
- DRAINAGE FLOW DIRECTION
- DRAINAGE AREA LABEL

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Chris Van Heerde, P.E.

EXISTING DRAINAGE AREA MAP

VILLAGE AT GRUENE CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

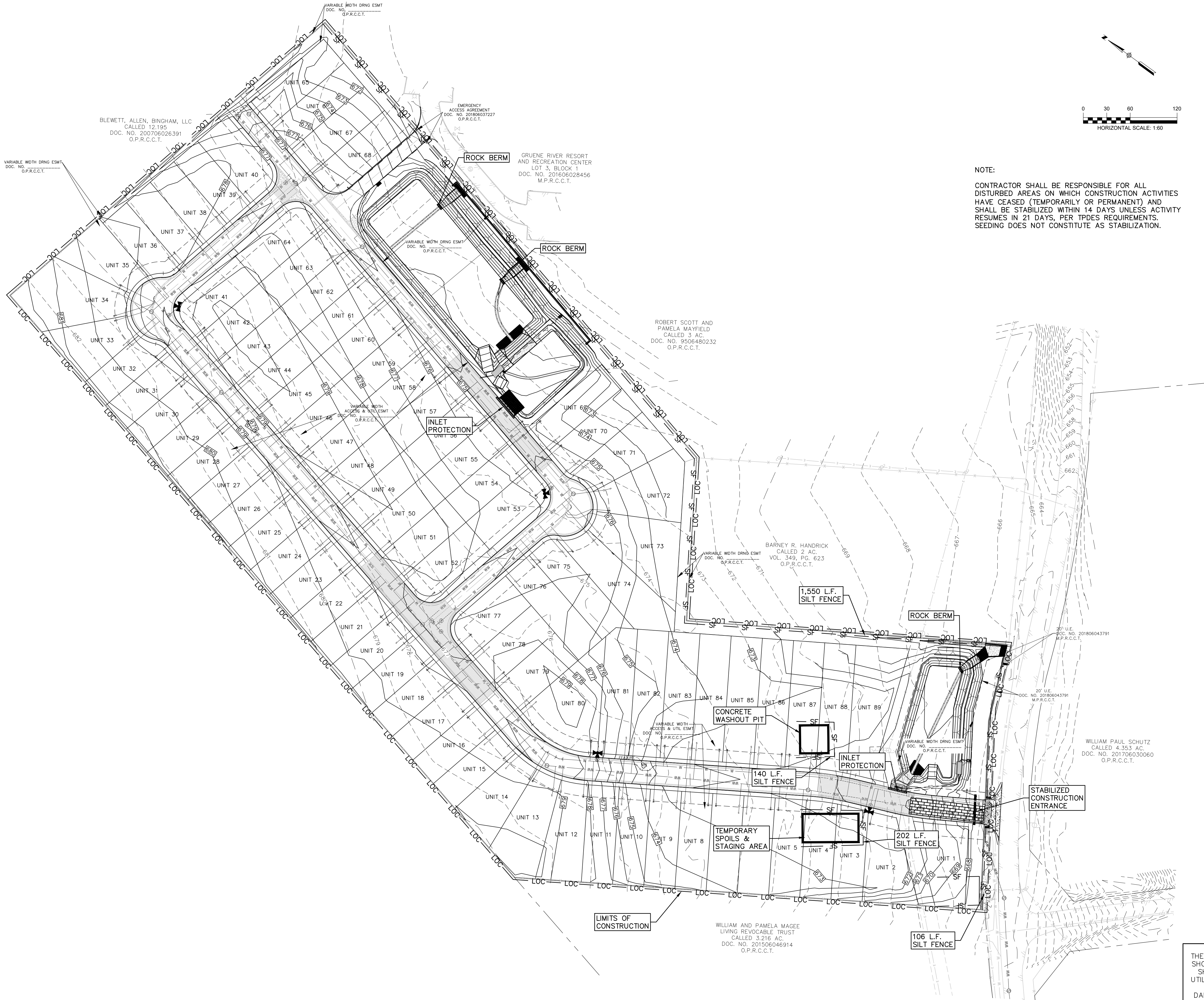
DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.: 170.004

SHEET C2.1



NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) AND SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES IN 21 DAYS, PER TPDES REQUIREMENTS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.

LEGEND

- 700--- EXISTING CONTOURS
- 700--- PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- DRAINAGE FLOW DIRECTION
- SF SF SILT FENCE
- LOC LOC LIMIT OF CONSTRUCTION
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL LOG INLET PROTECTION
- ROCK BERM

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROLS PER APPROVED PLAN.
2. TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
3. CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
4. CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
5. CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
6. CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
7. INSTALL STREETScape AND/OR LANDSCAPING IMPROVEMENTS.
8. CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN. OF 80% VEGETATION PRIOR TO COMPLETION. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.
9. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
10. TPDES REQUIREMENTS - DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY WILL BEGIN AGAIN WITHIN 21 DAYS

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

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HMT
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Chris Van Heerde, P.E.

EROSION CONTROL PLAN

VILLAGE AT GRUENE CONDOMINIUMS

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.: 170.004

SHEET

C3.1

MATERIALS:

MATERIALS:

1. SILT FENCE MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN OR NONWOVEN FABRIC. THE FABRIC WIDTH SHOULD BE 36 INCHES, WITH A MINIMUM UNIT WEIGHT OF 4.5 OZ/YD, MULLEN BURST STRENGTH EXCEEDING 190 LB/IN², ULTRAVIOLET STABILITY EXCEEDING 70%, AND MINIMUM APPARENT OPENING 0.075 IN. SILENT NO.
2. FENCE POSTS SHOULD BE MADE OF HOT ROLLED STEEL, AT LEAST 4 FEET LONG WITH TEE OR YBAR CROSS SECTION, SURFACE PAINTED OR GALVANIZED, MINIMUM NOMINAL WEIGHT 1.25 LB/FT², AND BRINELL HARDNESS EXCEEDING 140.
3. WOOD WIRE BARS SHALL BE 1/2" X 4" SQUARE. THE FABRIC SHOULD BE GALVANIZED 2" X 4" WELDED WIRE, 12 GAUGE MINIMUM.

INSTALLATION

1. STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 3 FOOT DEEP AND SPACED NOT MORE THAN 8 FEET ON CENTER. WHERE WATER CONCENTRATES, THE MAXIMUM SPACING SHOULD BE 6 FEET.
2. LAY OUT FENCING-DOWN SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS NEARLY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM DRAINAGE AREA IS 1/4 ACRE/100 FEET OF FENCE.
3. THE TOE OF THE SILT FENCE SHOULD BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND THE INDIVIDUALS TO BE TRENCHED ARE NOT LESS THAN 12 INCHES DEEP (E.G., PAVEMENT OR ROCK OUTCROP). WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FLAP.
4. THE TRENCH MUST BE A MINIMUM 12 INCHES DEEP AND 8 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
5. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO A TREE OR WIRE TO BE USED FOR ANCHORAGE. THE TENSIONING OF THE FENCE SHOULD BE A 3-FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
6. SILT FENCE SHOULD BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

INSPECTION AND MAINTENANCE GUIDELINES

1. INSPECT ALL FENCING WEEKLY, AND AFTER ANY RAINFALL.
2. REMOVE SEDIMENT WHEN BUILDUP REACHES 6 INCHES.
3. REPAIR THE TORN SECTION.
3. REPLACE ANY TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE TORN SECTION.
4. REPLACE OR REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY: IF A SECTION OF FENCE IS OBSTRUCTING VEHICULAR ACCESS, CONSIDER RELOCATING IT TO A SPOT WHERE IT WILL PROVIDE EQUAL PROTECTION, BUT NOT BE AN OBSTACLE TO VEHICULAR ACCESS. A DIKE MAY BE PREFERABLE TO A SILT FENCE AT COMMON VEHICLE ACCESS POINTS.
5. WHEN CONSTRUCTION IS COMPLETE, THE SEDIMENT SHOULD BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE FENCE SHOULD BE RESTORED. THE FENCE ITSELF SHOULD BE DISPOSED OF IN AN APPROVED LANDFILL.



THE PURPOSE OF CONCRETE WASHOUT AREAS IS TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFFSITE, PERFORMING ONSITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

THE FOLLOWING STEPS WILL HELP REDUCE STORMWATER POLLUTION FROM CONCRETE WASTES:

- INCORPORATE REQUIREMENTS FOR CONCRETE WASTE MANAGEMENT INTO MATERIAL SUPPLIER AND SUBCONTRACTOR AGREEMENTS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE.
- PERFORM WASHOUT OF CONCRETE TRUCKS IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ONSITE, EXCEPT IN DESIGNATED AREAS.

FOR ONSITE WASHOUT:

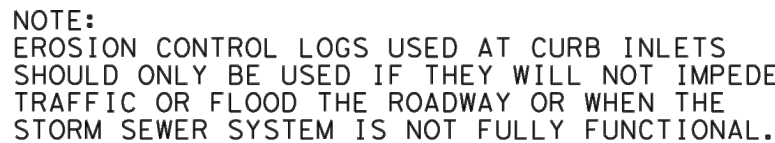
- LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
- WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED PROPERLY.

BELOW GRADE CONCRETE WASHOUT FACILITIES ARE TYPICAL. THESE CONSIST OF A LINED EXCAVATION SUFFICIENTLY LARGE TO HOLD EXPECTED VOLUME OF WASHOUT MATERIAL. ABOVE GRADE FACILITIES ARE USED IF EXCAVATION IS NOT PRACTICAL. TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE) SHOULD BE CONSTRUCTED AS SHOWN ON THE DETAILS AT THE END OF THIS SECTION, WITH SPECIFIC DETAILS TO BE DEVELOPED TO ACCORD WITH THE VOLUME OF WASTE GENERATED BY WASHOUT OPERATIONS. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

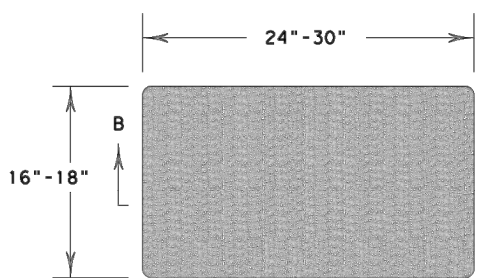
WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.



TYPE "ABOVE GRADE"
NOT TO SCALE



SECTION B-B



SANDBAG DETAIL

SHEET 3 OF 3

Texas Department of Transportation

**Design
Division
Standard**

TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES

EROSION CONTROL LOG

EC(9) - 16

FILE# 00916	TX#DOTT	EX# KM	DM LS/PT	EX# LS
① TX#DOTT: JULY 2016	CONT	SECT	JOB	HIGHWAY
REVISIONS	DIST		COUNTY	SHEET NO.

MATERIALS:

1. THE AGGREGATE SHOULD CONSIST OF 3 TO 5 INCH WASHED STONE OVER A STABLE FOUNDATION AS SPECIFIED IN THE PLAN.
2. THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF 8 INCHES. THE AGGREGATE SHOULD BE SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE WEIGHT OF 6 OZ/YD², A MULLEN BURST RATING OF 140 LB/IN², AND AN EQUIVALENT OPENING SIZE GREATER THAN A NUMBER 50 SIEVE.
4. IF A WASHING FACILITY IS REQUIRED, A LEVEL AREA WITH A MINIMUM OF 4 INCH DIAMETRE WASHED STONE OR COMMERCIAL GRAVEL SHOULD BE INCLUDED IN THE PLANS. DIVERT WASTEWATER TO A SEDIMENT TRAP OR BASIN.

INSTALLATION:

1. AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES. REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.
2. THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF THE ROADWAY, WHATEVER IS GREATER.
3. THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG.
4. IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 (H:V) SIDE SLOPES, ACROSS THE FOUNDATION AREA. PROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
5. PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
6. IF THE STONE DRAIN EXTENSION IS GRADE SHOWN ON PLANS, LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE.
7. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.
8. INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.

INSPECTION AND MAINTENANCE GUIDELINES:

1. THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR LOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH AN ADDED STONE AS CONDITIONS DEMAND AND RAINFALL OR OTHER CIRCUMSTANCES MAY INCREASE THE NEED FOR SEDIMENT.
2. SEDIMENT SPILLED DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR.
3. WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A RIGHT-OF-WAY.
4. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT POND OR SEDIMENT BASIN.
5. SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE, BY USING APPROVED METHODS.



NOT TO SCALE

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EROSION CONTROL DETAILS

VILLAGE AT GRUENE CONDOMINIUMS

[illegible]

DATE: JUNE 2020

DRAWN BY: HI

1000 2000 3000 4000 5000 6000 7000 8000 9000 10000

REVIEWED BY: _____

170.004

SHEET

C3.2

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

TIMOTHY DEAN WORD, JR. AND
SUZANNE ZACHRY WORD 2015 TRUST
CALLED 12.04 ACRES
DOC. NO. 201606000912
O.P.R.C.C.T.

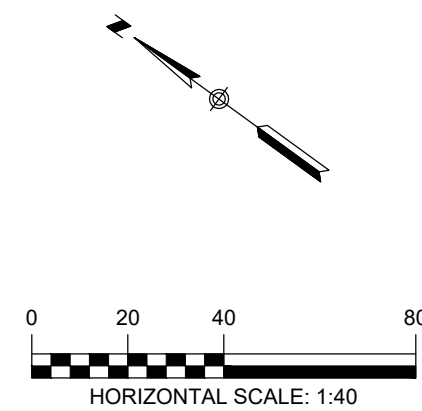
SETTLEMENT AT
GRUENE UNIT 2
LOT 6, BLOCK 2
DOC. NO. 201606041150
M.P.R.C.C.T.

BLEWETT, ALLEN, BINGHAM, LLC
CALLED 12.195
DOC. NO. 200706026391
O.P.R.C.C.T.

EMERGENCY
ACCESS AGREEMENT
DOC. NO. 201806037227
O.P.R.C.C.T.

GRUENE RIVER RESORT
AND RECREATION CENTER
LOT 3, BLOCK 1
DOC. NO. 201606028456
M.P.R.C.C.T.

ROBERT SCOTT AND
PAMELA MAYFIELD
CALLED 3 AC.
DOC. NO. 9506480232
O.P.R.C.C.T.



LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	G.C.E.
	UTILITY EASEMENT
	DRAINAGE EASEMENT
	LOT GRADING SEE DETAILS SHEET C4.3
	DRAINAGE FLOW DIRECTION
	GRADE BREAK LINE
	MINIMUM FINISH FLOOR ELEVATION

NOTES:

- DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
- WHEN POSSIBLE, CONTRACTOR SHALL PHASE GRADING SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST PERIOD OF TIME.
- LOT LINES SHOWN ARE PART OF A CONDO REGIME. TYPICAL SIZE HOUSE FITS SHOWN ARE SUBJECT TO BUILDER CUSTOMIZATION.
- CONTRACTOR TO VERIFY FINISH FLOOR ELEVATION IS A MINIMUM OF 10" ABOVE HIGHEST SURROUNDING FINISHED GRADE.
- STRIPPING OF VEGETATION FROM PROJECT SITES SHALL BE PHASED SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST POSSIBLE PERIOD OF TIME PER THE NEW BRAUNFELS DRAINAGE AND EROSION CONTROL DESIGN MANUAL SEC.12.2(N).

EARTHWORK VOLUMES	
EXCAVATION & EMBANKMENT	VOLUME (CY)
CUT	10,615
FILL	23,062
NET	12,448 [FILL]

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LOT GRADING PLAN (1 OF 2)

VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

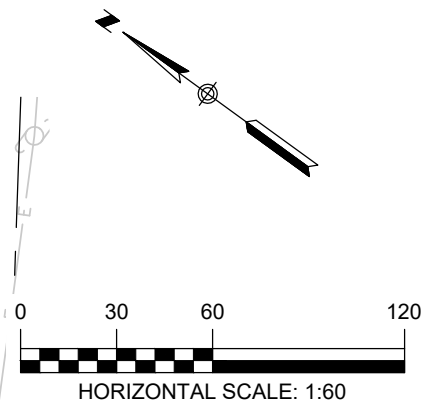
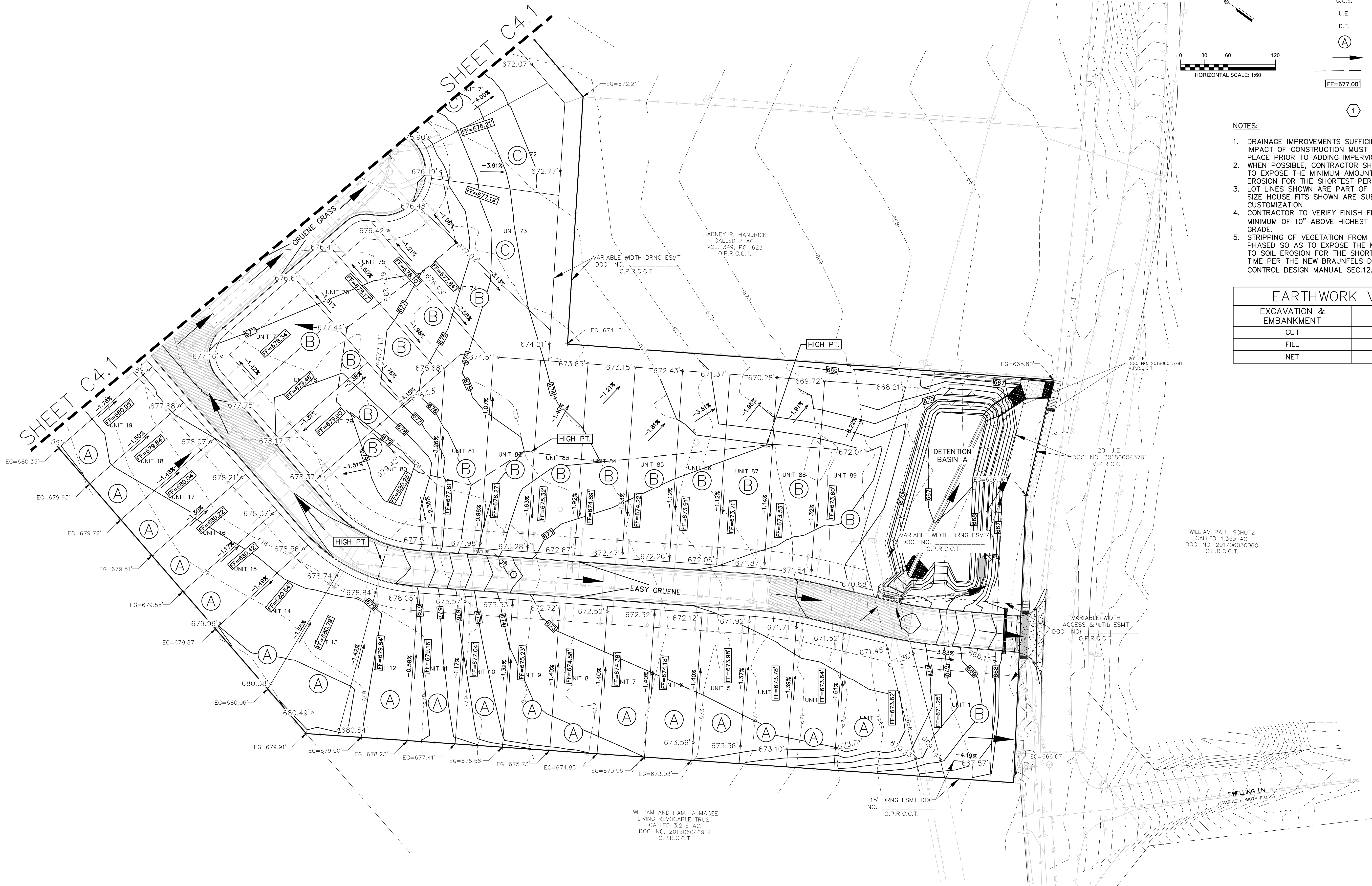
REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

SHEET
C4.1

REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.



LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	G.C.E. GENERAL COMMON ELEMENT
	U.E. UTILITY EASEMENT
	D.E. DRAINAGE EASEMENT
	LOT GRADING SEE DETAILS SHEET C4.3
	DRAINAGE FLOW DIRECTION
	GRADE BREAK LINE
	MINIMUM FINISH FLOOR ELEVATION
	ENCOUNTERED FEATURE CLOSED PER 100Q ENCOUNTERED FEATURE ENCLOSURE PLAN, APPROVED APRIL 2, 2020.

NOTES:

- DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
- WHEN POSSIBLE, CONTRACTOR SHALL PHASE GRADING SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST PERIOD OF TIME.
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- STRIPPING OF VEGETATION FROM PROJECT SITES SHALL BE PHASED SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST POSSIBLE PERIOD OF TIME PER THE NEW BRAUNFELS DRAINAGE AND EROSION CONTROL DESIGN MANUAL SEC.12.2(N).

EARTHWORK VOLUMES	
EXCAVATION & EMBANKMENT	VOLUME (CY)
CUT	10,615
FILL	23,062
NET	12,448 [FILL]

WILLIAM PAUL SCHUTZ
CALLED 4.353 AC.
DOC. NO. 201706030060
O.P.R.C.C.T.

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TBPE FIRM F-10961
TBPLS FIRM 1053600



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LOT GRADING PLAN (2 OF 2)

VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

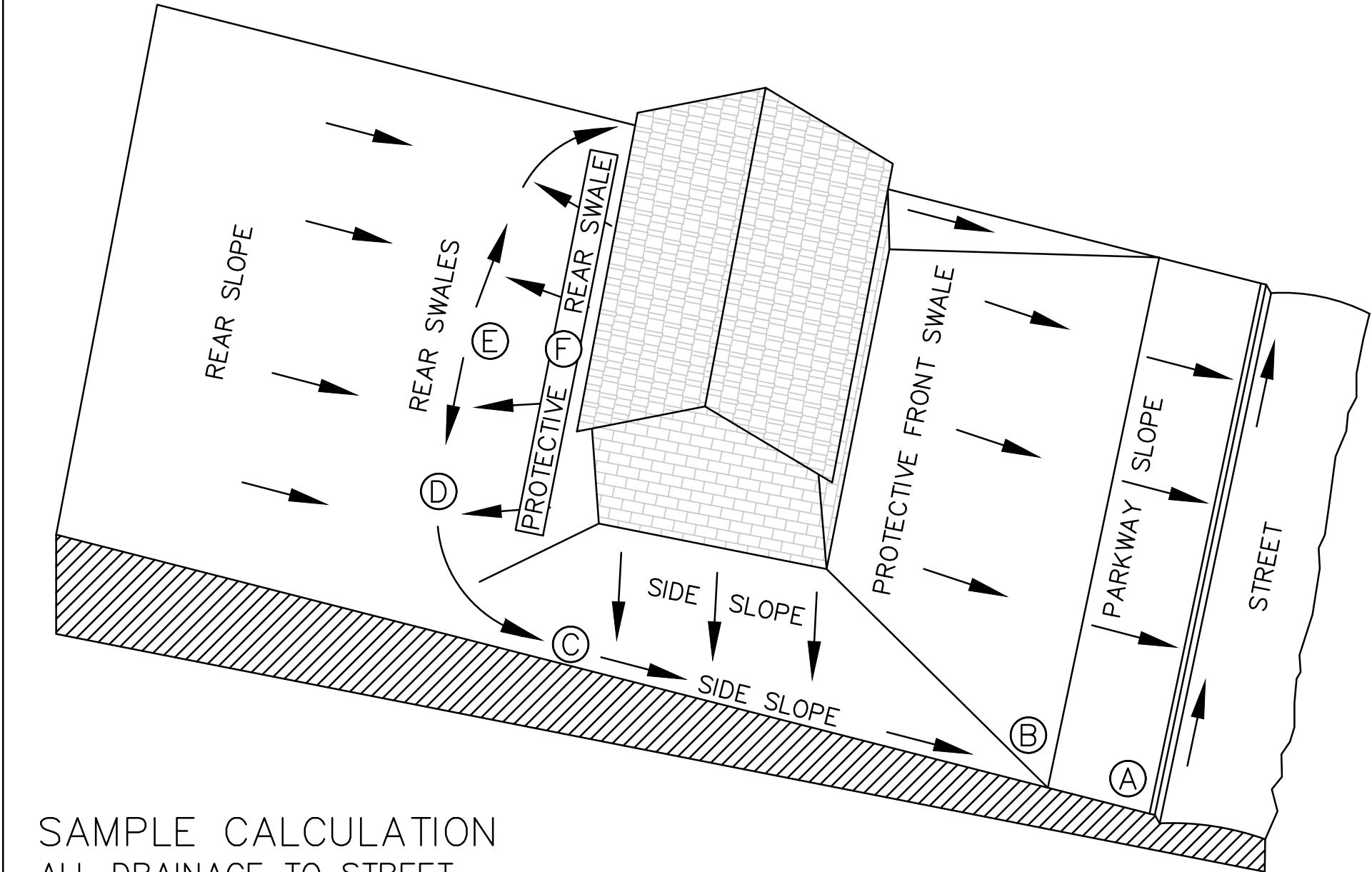
HMT PROJECT NO.:

170.004

SHEET

C4.2

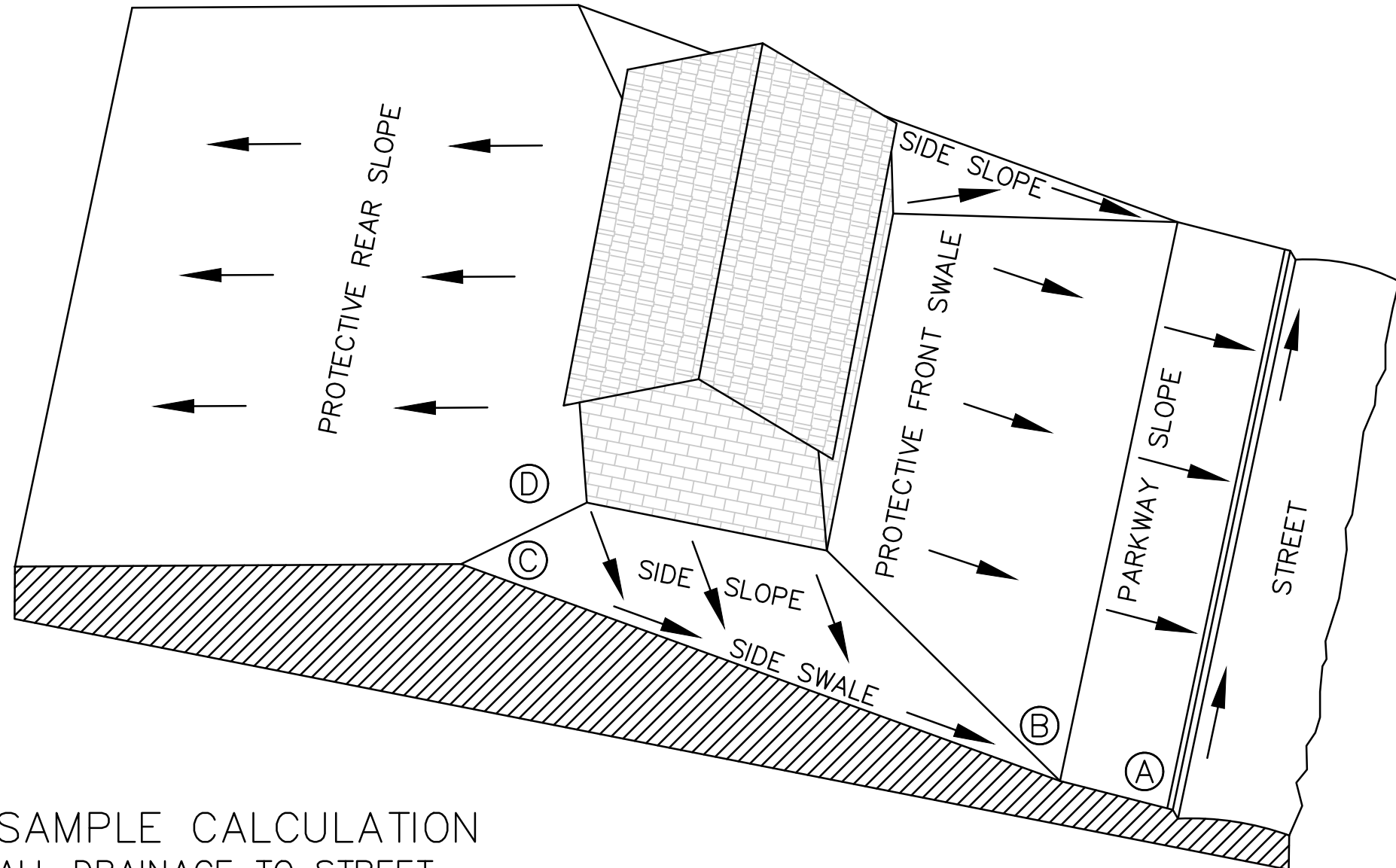
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SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE AF FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 0.5% STREET, WITH 60' BUILDING DEPTH AND 2% SWALES.				RESULTS OF 1% SWALES	
A	CURB-TOP ON LOT LINE EXTENSION AT HIGH LOT CORNER				
AB	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')		
BC	SIDE SWALE: 85' GRASS AT 1/4"/FT. (2%)	21" (1.8')	11" (0.9')		
CD	SWALE TURN WITH 10' RADIUS:16' GRASS AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')		
DE**	REAR SWALE: 13' GRASS AT 1/4"/FT. (2%)	3" (0.3')	2" (0.2')		
EF*	PROTECTIVE REAR SLOPE UP FROM HIGH POINT OF SWALES	3" (0.3')	3" (0.3')		
SUB-TOTAL AF FROM CURB TOP TO GROUND AT REAL BLDG WALL				35" (3.0')	20" (1.7')
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: 35" + 8"				43" (3.6')	28" (2.3')
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: 35" + 9"				54" (4.5')	39" (3.3')
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.					
** LENGTH DE = [1/2(LOT WIDTH - (2x SWALE TURN RADIUS))] - [LOT WIDTH x (STREET GRADIENT x SWALE GRADIENT)]					

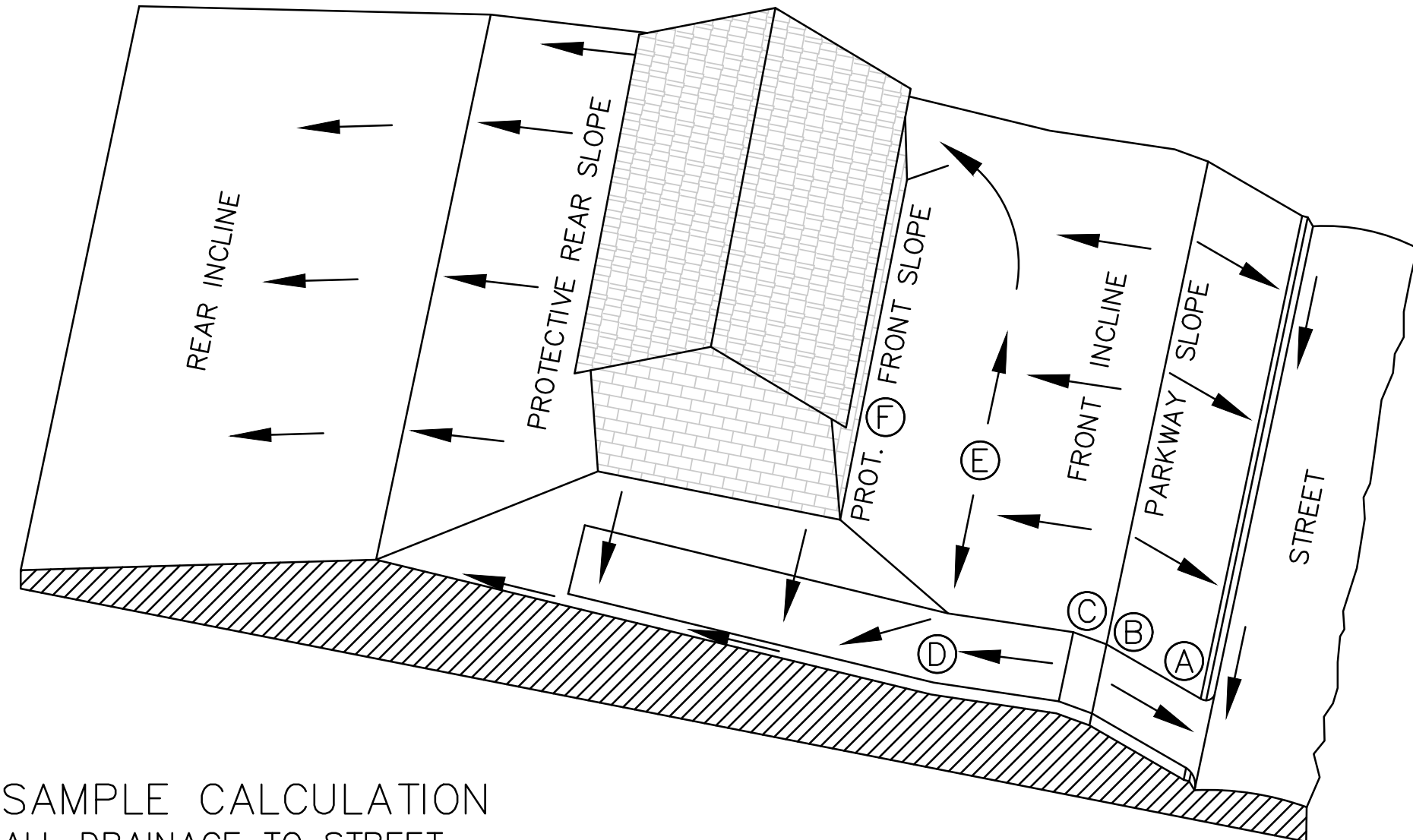
LOT TYPE A



SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE AF FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 0.5% STREET, WITH 60' BUILDING DEPTH AND 2% SWALES.				RESULTS OF 1% SWALES	
A	CURB-TOP ON LOT LINE EXTENSION AT HIGH LOT CORNER				
AB	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')		
BC	SIDE SWALE: 85' GRASS AT 1/4"/FT. (2%)	21" (1.8')	11" (0.9')		
CD*	PROTECTIVE SIDE SLOPE @ REAR BLDG. WALL EXTENSION	3" (0.3')	3" (0.3')		
SUB-TOTAL AD FROM CURB TOP TO GROUND AT REAL BLDG WALL				27" (2.4')	16" (1.4')
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: 27" + 8"				35" (2.9')	24" (2.0')
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: 35" + 9"				46" (3.8')	35" (2.9')
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.					

LOT TYPE B



SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE AF FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 13.5% DRIVEWAY, AND 16' FRONT SWALE DE AT 2.0%.				RESULTS OF 1% SWALES		CALCULATIONS FOR SWALES
A	CURB-TOP HIGH SIDE OF DRIVE NEAR LOW LOT CORNER					15 x 0.25' = 3 3/4"
AB	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')			0 x 0.25' = 0"
BC	DRIVEWAY GRADE CHANGE: 4' VERTICAL CURVE FROM UP- GRADE DRIVE IN STREET TO DOWN-GRADE DRIVE ON LOT	0" (0.0')	0" (0.0')			-11 x 1.625' = -17 3/4"
CD	DRIVEWAY DOWN-GRADE TO POINT 10 FEET OUT FROM FRONT OF BUILDING: -11' AT 1 1/8"/FT (13.5%)	-18" (-1.5')	-18" (-1.5')			16 x 0.25' = 4"
DE	FRONT SWALE: 16' GRASS AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')			10 x 0.25' = 2 1/2"
EF*	PROT. FRONT SLOPE UP FROM HIGH POINT OF SWALES	3" (0.3')	3" (0.3')			-7 1/2"
SUB-TOTAL AF FROM CURB TOP TO GROUND AT FRONT BLDG WALL				-7" (-1.0')	-11" (1.3')	
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: -7" + 8"				1" (-0.3')	-3" (0.7')	
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: -7" + 19"				12" (-0.6')	8" (0.3')	
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.						

LOT TYPE C

GENERAL SPECIFICATIONS FOR SITE PREPARATION

GENERAL DESCRIPTION

THIS ITEM SHALL CONSIST OF ALL CLEARING AND PREPARATION OF LAND TO BE FILLED, FILLING OF THE LAND, SPREADING, COMPACTION TESTING AND INSPECTION OF THE FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING OF THE CUT AND FILL AREAS TO CONFORM WITH THE LINES, GRADES AND SLOPES AS SHOWN ON THE APPROVED PLANS.

SCARIFYING THE AREA TO BE FILLED

ALL ORGANIC MATTER SHALL BE REMOVED FROM THE SURFACE UPON WHICH THE FILL IS TO BE PLACED, AND SURFACE SHALL BE DISKED OR SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES (6"), ALL SURFACE RUTS OR OTHER UNEVEN FEATURES WILL BE LEVELED PRIOR TO FIELD DENSITY TESTING.

COMPACTING THE AREA TO BE FILLED

FOLLOWING THE CLEARING AND DISKING OR SCARIFYING OF THE FILL AREA, IT SHALL BE BLADED UNTIL IT IS UNIFORM AND FREE FROM LARGE CLODS. THE AREA SHALL BE BROUGHT TO ADEQUATE MOISTURE CONTENT AND COMPACTED (TYPICALLY) TO NOT LESS THAN NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH THE CURRENT ASTM D 1557 COMPACTION PROCEDURE, OR 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE THD-TEX-113-E COMPACTION PROCEDURE. ALL AREAS EXCEEDING (6") SIX INCHES IN DEPTH, MUST MEET WITH FHWA/HUD HANDBOOK 4140.30 SPECIFICATIONS FOR LAND DEVELOPMENTS ON CONTROLLED EARTHWORK, DATASHEET 79G.

FILL MATERIALS

THE MATERIALS USED SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES, SUCH AS TREES, BRUSH AND RUBBISH.

DEPTH AND MIXING OF FILL LAYERS

THE SELECTED FILL MATERIAL SHALL BE PLACED IN LEVEL, UNIFORM LAYERS WHICH, WHEN COMPACTED, SHALL HAVE A DENSITY CONFORMING TO THE STIPULATED ABOVE. EACH LAYER SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. COMPACTED LAYER THICKNESS MAY VARY DEPENDING ON THE COMPACTION EQUIPMENT OF THE DEMONSTRATED CAPABILITY.

ROCK

WHEN FILL MATERIAL INCLUDES ROCK, THE MAXIMUM ROCK SIZE SHALL BE AS APPROVED BY THE GEOTECHNICAL ENGINEER. NO LARGE ROCKS SHALL BE ALLOWED TO NEST AND ALL VOIDS MUST BE FILLED WITH SMALL STONES OR SOIL AND ADEQUATELY COMPACTED.

COMPACTION OF FILL LAYER

COMPACTION EQUIPMENT SHALL BE CAPABLE OF COMPACTING THE FILL TO THE SPECIFIED DENSITY. COMPACTION SHALL BE ACCOMPLISHED WHILE THE FILL MATERIAL IS AT OR NEAR THE APPROPRIATE MOISTURE CONTENT. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER THE ENTIRE STRUCTURAL AREA (BENEATH PROPOSED STRUCTURES).

COMPACTION OF SLOPES

THE FACES OF FILL SLOPES SHALL BE COMPACTED. COMPACTION OPERATIONS SHALL BE CONTINUED UNTIL THE SLOPE FACES ARE STABLE BUT NOT TO DENSE FOR PLANTING ON THE SLOPES. COMPACTION OF THE SLOPE FACE MAY BE DONE PROGRESSIVELY IN INCREMENTS OF THREE TO FIVE FEET (3' TO 5') IN FILL HEIGHT AS THIS FILL PROGRESSES OR AFTER THE FILL HAS BEEN BROUGHT TO ITS TOTAL HEIGHT.

DENSITY TEST

FIELD DENSITY TESTS SHALL BE PERFORMED ON ALL LAYERS OF FILL WHEN THE FILL IS BEING PLACED AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE MAXIMUM FILL HEIGHT BETWEEN DENSITY TESTING SHALL BE TWELVE INCHES (12"). ALL TESTING SHALL BE REQUESTED BY THE CONTRACTOR TO MEET THE CONTRACTOR'S CONSTRUCTION SCHEDULE. NOTIFICATION BY THE CONTRACTOR TO CONDUCT TESTS SHALL BE AT LEAST THE DAY BEFORE. THIS NOTIFICATION SHALL INCLUDE THE FILL AREA LOCATION (LOT AND BLOCK), THE LIFT OR HEIGHT OF FILL AND APPROXIMATED DESIRED TIME OF TESTING. WHEN THESE TEST INDICATE THAT THE DENSITY OF ANY LAYER OF FILL OR PORTION THEREOF IS BELOW THE REQUIRED DENSITY, THE PARTICULAR LAYER OR PORTION SHALL BE REWORKED AND RETESTED AT THE EXPENSE OF THE CONTRACTOR UNLESS THE CONTRACTOR CAN SHOW EVIDENCE THAT CIRCUMSTANCES BEYOND HIS CONTROL REQUIRED THE RETESTING. GENERALLY, THE SPECIFIC TESTING WILL BE AS FOLLOWS AND CONDUCTED BY A GEO-TECHNICAL ENGINEER OR STAFF.

1. THE LAND TO BE FILLED (PREPARED SUBGRADE) SHALL BE PREPARED AND TESTED AT A FREQUENCY AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
2. THE FIRST LIFT OF COMPACTED FILL (GENERALLY 8-12 IN.) SHALL BE TESTED AS DETERMINED BY THE GEOTECHNICAL ENGINEER. ANY AREAS SUPPORTING THE PROPOSED STRUCTURES REQUIRING FILL SHALL BE TESTED FOR DENSITY COMPLIANCE.
3. FILLS SHALL BE TESTED AT A MAXIMUM OF EACH TWELVE INCHES (12") OF FILL.
4. TEST RESULTS WILL BE PROVIDED BY THE FIELD TECHNICIAN TO THE CONTRACTOR WHEN POSSIBLE; HOWEVER, ALL TEST RESULTS ARE TO BE REVIEWED BY THE GEOTECHNICAL ENGINEER FOR COMPLIANCE. THE ENGINEER WILL NOTIFY THE CONTRACTOR OF ALL TEST RESULTS.

CUT/FILL LOTS

AREAS INVOLVING CUT ON THE PORTION AND FILL ON ANOTHER PORTION OF A SPECIFIC LOT SHALL BE PREPARED TO A MINIMUM DEPTH OF 6 IN., AND WILL BE THE SAME MATERIAL CLASSIFICATION AT THE SAME COMPACTION AND MOISTURE CONTENT. FIELD DENSITY TESTS SHALL BE REQUIRED ON EACH CUT/FILL LOT FOR THE PURPOSE OF DETERMINING UNIFORMITY OF THE AREA SUPPORTING THE PROPOSED STRUCTURES.

HUD 79-G

HUD 79-G REQUIREMENT FOR FILL MATERIAL OF 6 INCHES AND MORE WILL BE CONDUCTED. ALL CUT AREAS WILL ALSO MEET THE REQUIREMENTS FOR HUD 79-G COMPACTION TESTING. IN ADDITION, ENGINEERS MUST PROVIDE VERIFICATION OF ALL AREAS WHICH DO NOT REQUIRE HUD 79-G. AFTER SITE GRADING IS COMPLETED, GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CONTRACTOR AND OWNER A 79-G LETTER.

DRAINAGE NOTE

FINISHED FLOOR ELEVATIONS

THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE.

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NEW BRAUNFELS, TX 78130
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Chris Van Heerde, P.E.

GRADING DETAILS

VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

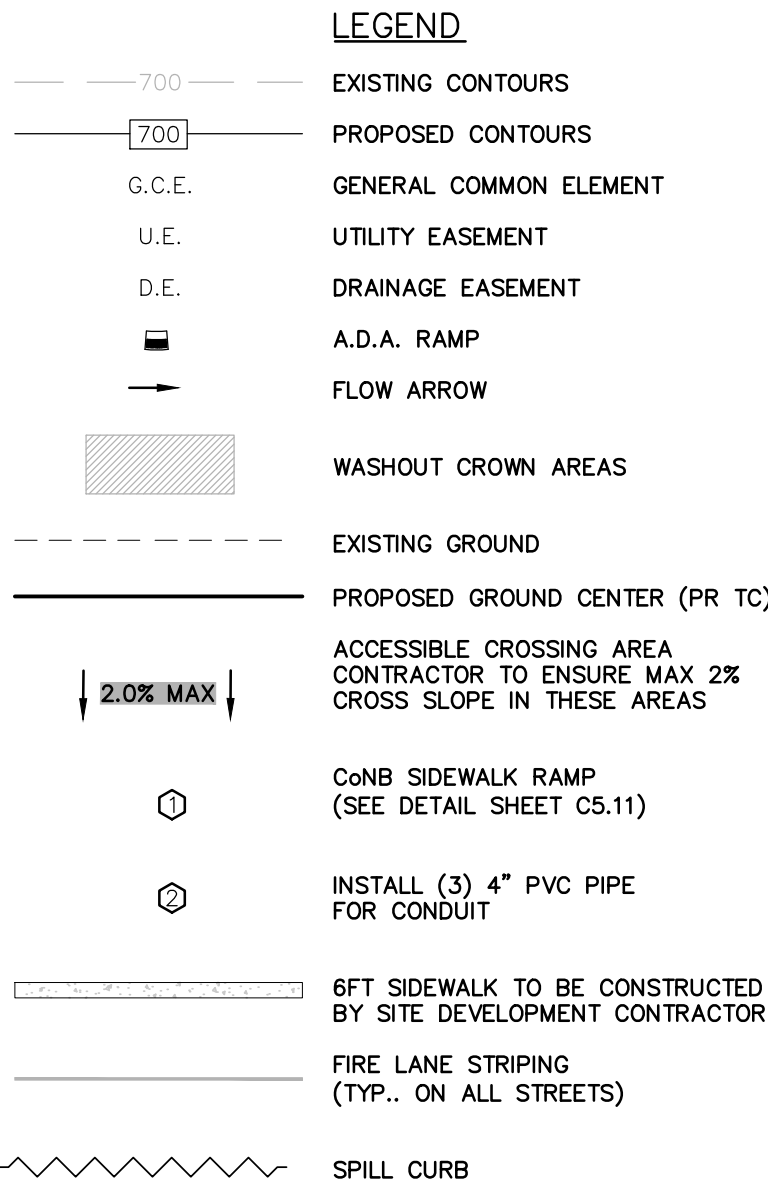
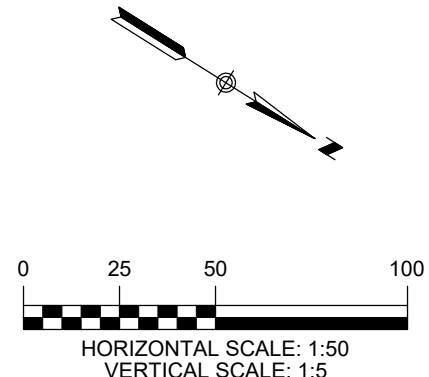
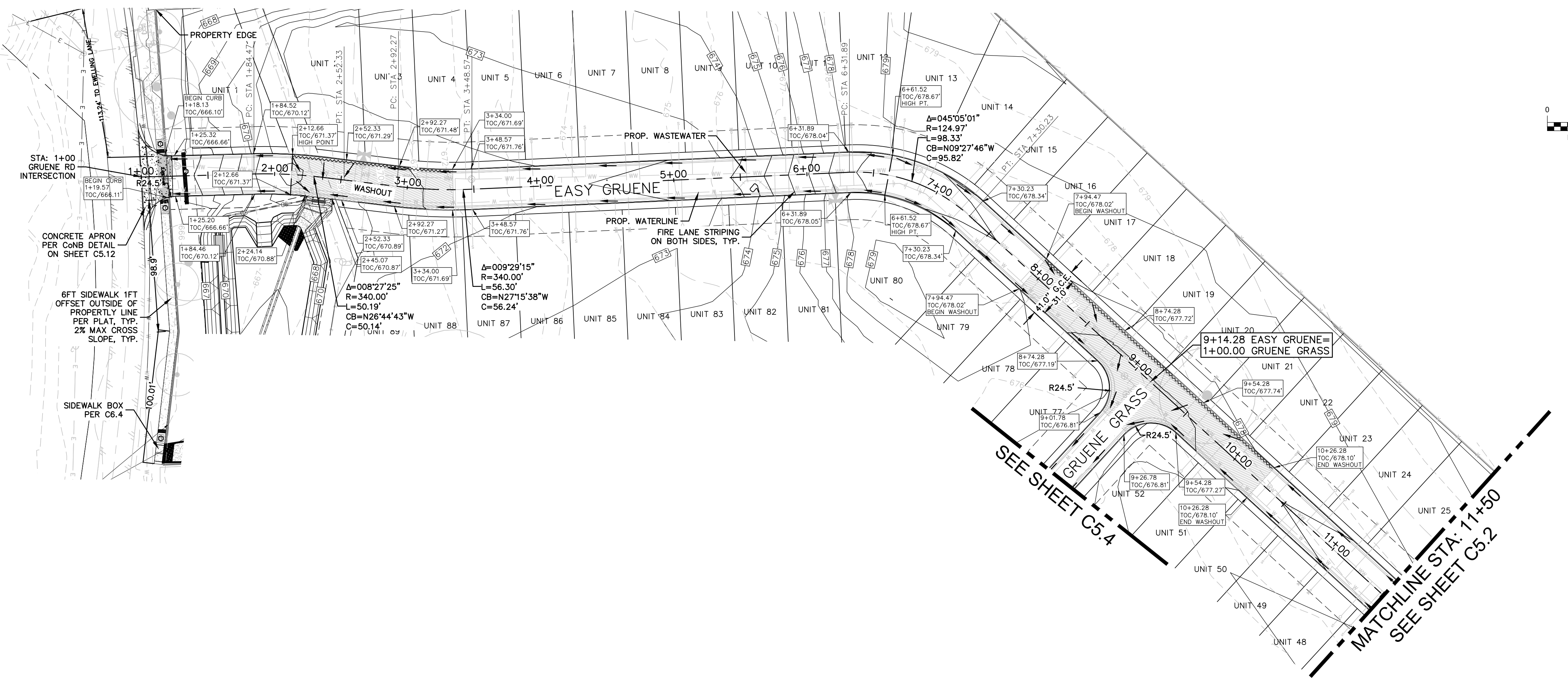
REVIEWED BY: CVH

HMT PROJECT NO.: 170.004

SHEET

C4.3

REFERENCE PUBLIC INFRASTRUCTURE PERMIT SET FOR
WORK WITHIN GRUENE RD RIGHT-OF-WAY.

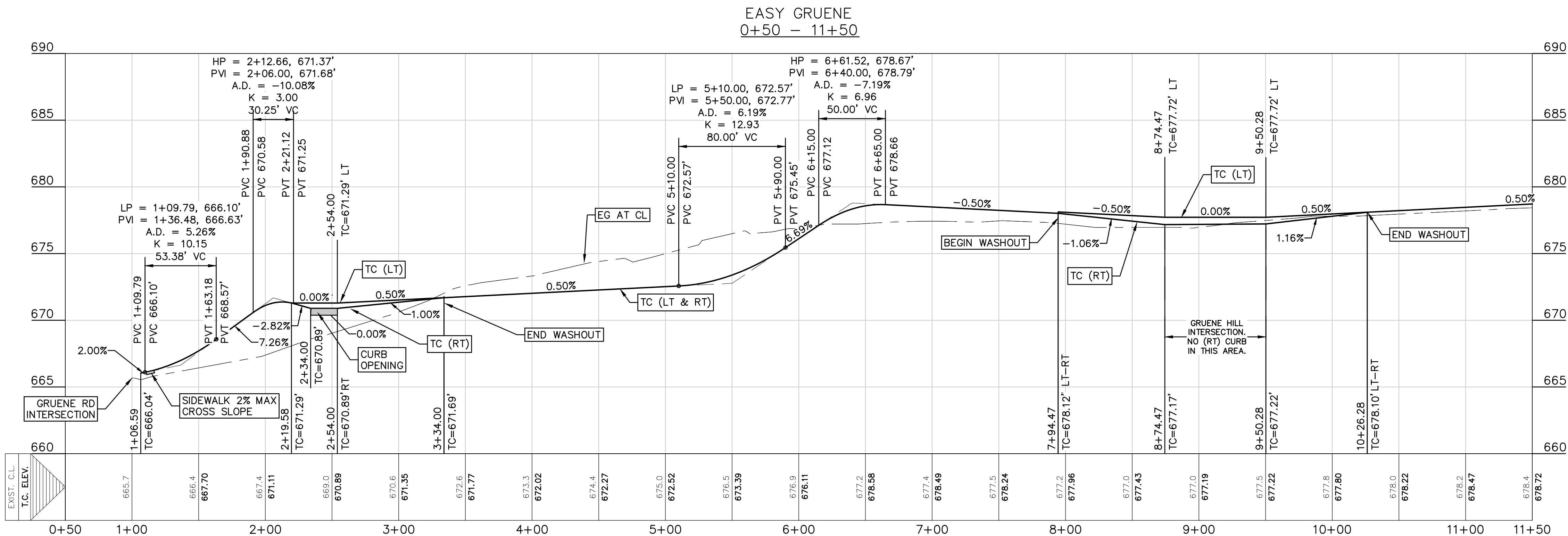


NOTES

- STREETS WERE DESIGNED TO POSTED SPEED LIMIT OF 25 MPH.
- IN WASHOUT CROWN AREAS, THE CURB ON THE HIGH SIDE OF THE STREET SHOULD BE SPILL CURB AS DESIGNATED ON THE PLANS.
- CONTRACTOR TO CONSTRUCT SIDEWALK RAMPS WITH STREETS.
- CONDO LOT LINES AND TYPICAL HOUSE FITS ARE SHOWN FOR REFERENCE ONLY.

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Chris Van Heerde, P.E.

**EASY GRUENE PLAN AND
PROFILE STA- 1+00 TO 11+50
VILLAGE AT GRUENE
CONDOMINIUMS**



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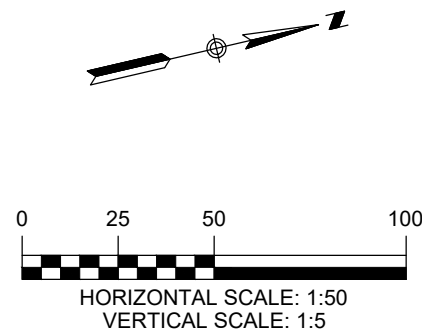
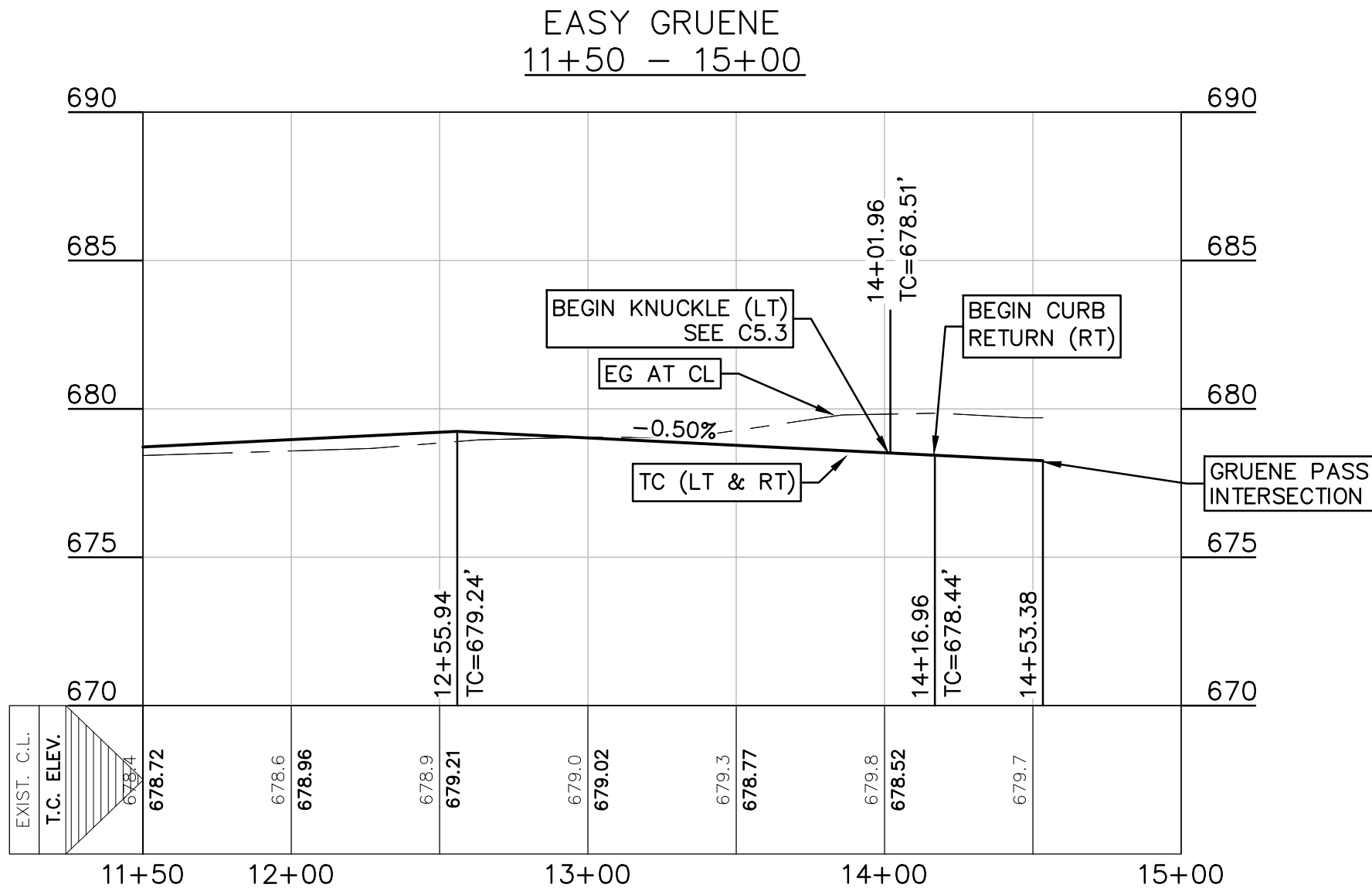
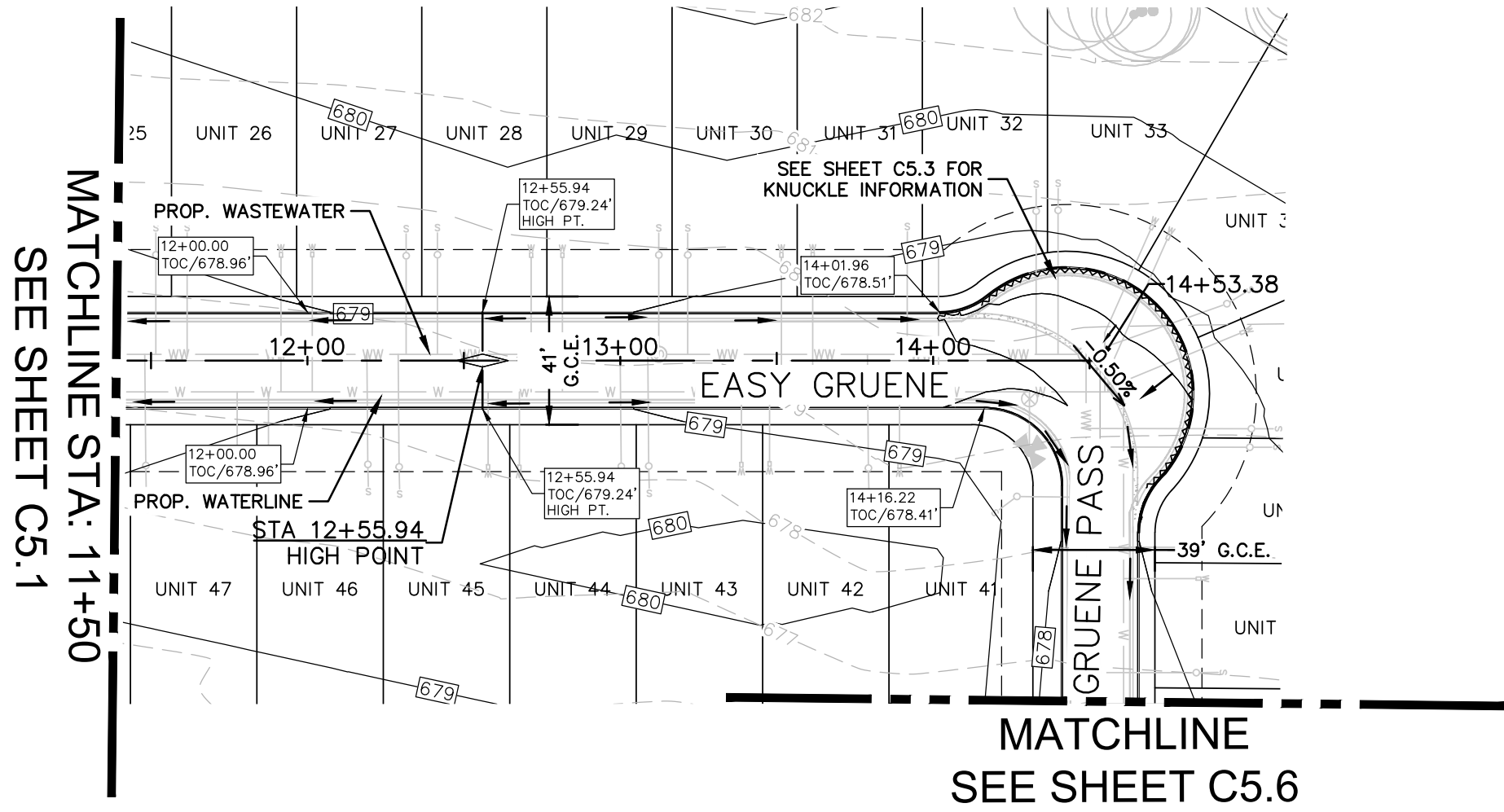
DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

**SHEET
C5.1**



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- G.C.E. GENERAL COMMON ELEMENT
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- A.D.A. RAMP
- FLOW ARROW
- WASHOUT CROWN AREAS
- EXISTING GROUND
- PROPOSED GROUND CENTER (PR TC)
- ACCESSIBLE CROSSING AREA CONTRACTOR TO ENSURE MAX 2% CROSS SLOPE IN THESE AREAS
- CONB SIDEWALK RAMP (SEE DETAIL SHEET C5.11)
- 6FT SIDEWALK TO BE CONSTRUCTED BY SITE DEVELOPMENT CONTRACTOR
- FIRE LANE STRIPING (TYP.. ON ALL STREETS)
- SPILL CURB

- NOTES**
- STREETS WERE DESIGNED TO POSTED SPEED LIMIT OF 25 MPH.
 - IN WASHOUT CROWN AREAS, THE CURB ON THE HIGH SIDE OF THE STREET SHOULD BE SPILL CURB AS DESIGNATED ON THE PLANS.
 - CONTRACTOR TO CONSTRUCT SIDEWALK RAMPS WITH STREETS.
 - CONDO LOT LINES AND TYPICAL HOUSE FITS ARE SHOWN FOR REFERENCE ONLY.

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NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
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HMT
ENGINEERING & SURVEYING

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Chris Van Heerde, P.E.

EASY GRUENE PLAN AND PROFILE STA- 11+50 TO END VILLAGE AT GRUENE CONDOMINIUMS

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: **JUNE 2020**

DRAWN BY: **HLC**

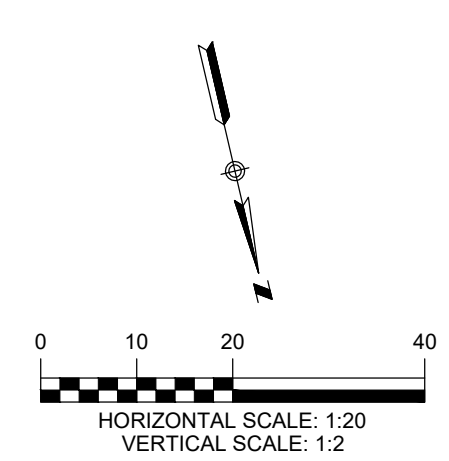
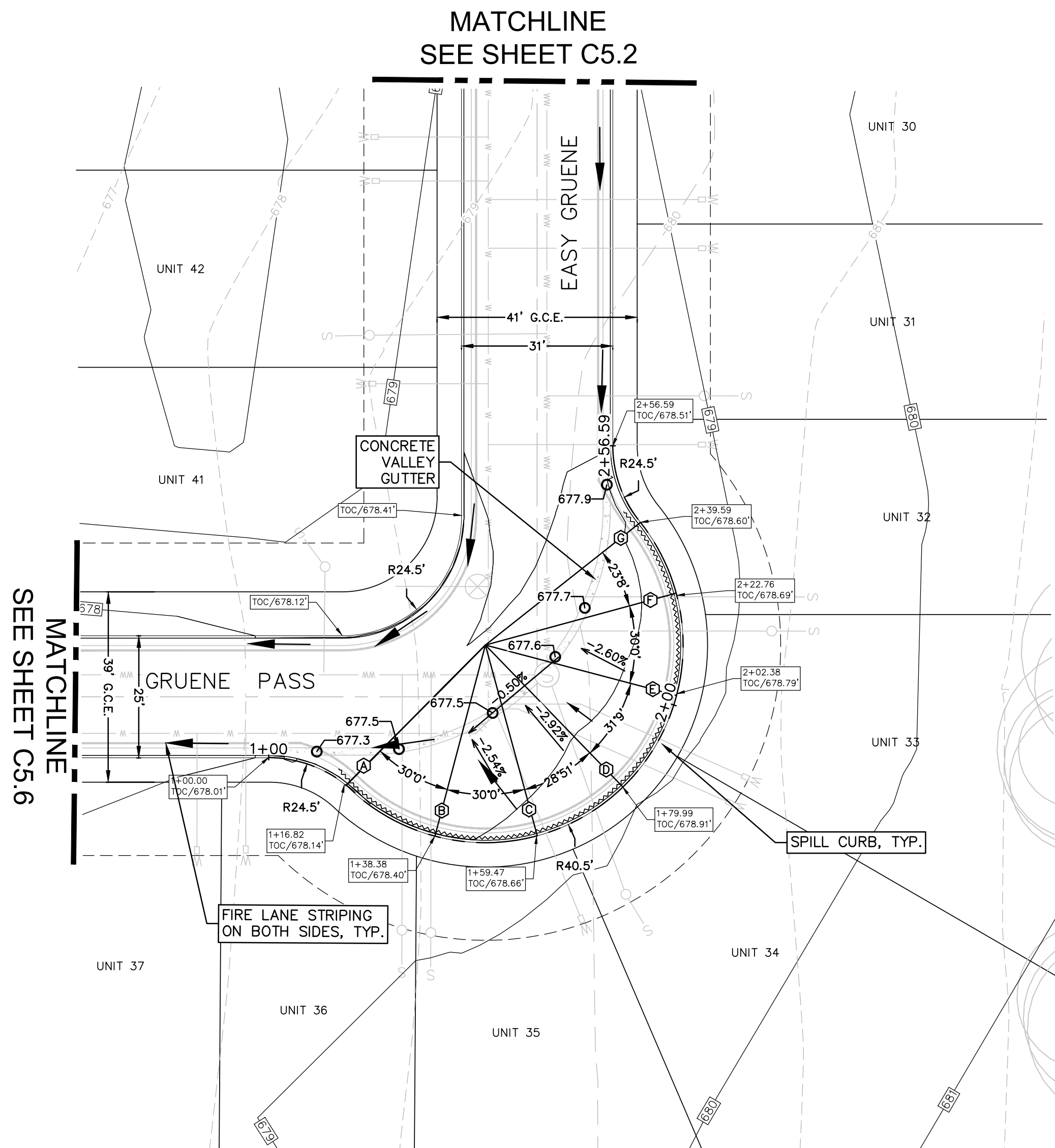
DESIGNED BY: **HLC**

REVIEWED BY: **CVH**

HMT PROJECT NO.: **170.004**

SHEET C5.2

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- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - G.C.E. GENERAL COMMON ELEMENT
 - UTILITY EASEMENT
 - DRAINAGE EASEMENT
 - A.D.A. RAMP
 - FLOW ARROW
 - WASHOUT CROWN AREAS
 - EXISTING GROUND
 - PROPOSED GROUND CENTER (PR TC)
 - ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
 - CONB SIDEWALK RAMP
(SEE DETAIL SHEET C5.11)
 - 6FT SIDEWALK TO BE CONSTRUCTED
BY SITE DEVELOPMENT CONTRACTOR
 - FIRE LANE STRIPING
(TYP.. ON ALL STREETS)
 - SPILL CURB

- NOTES**
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 - CONDO LOT LINES AND TYPICAL HOUSE FITS ARE SHOWN FOR REFERENCE ONLY.

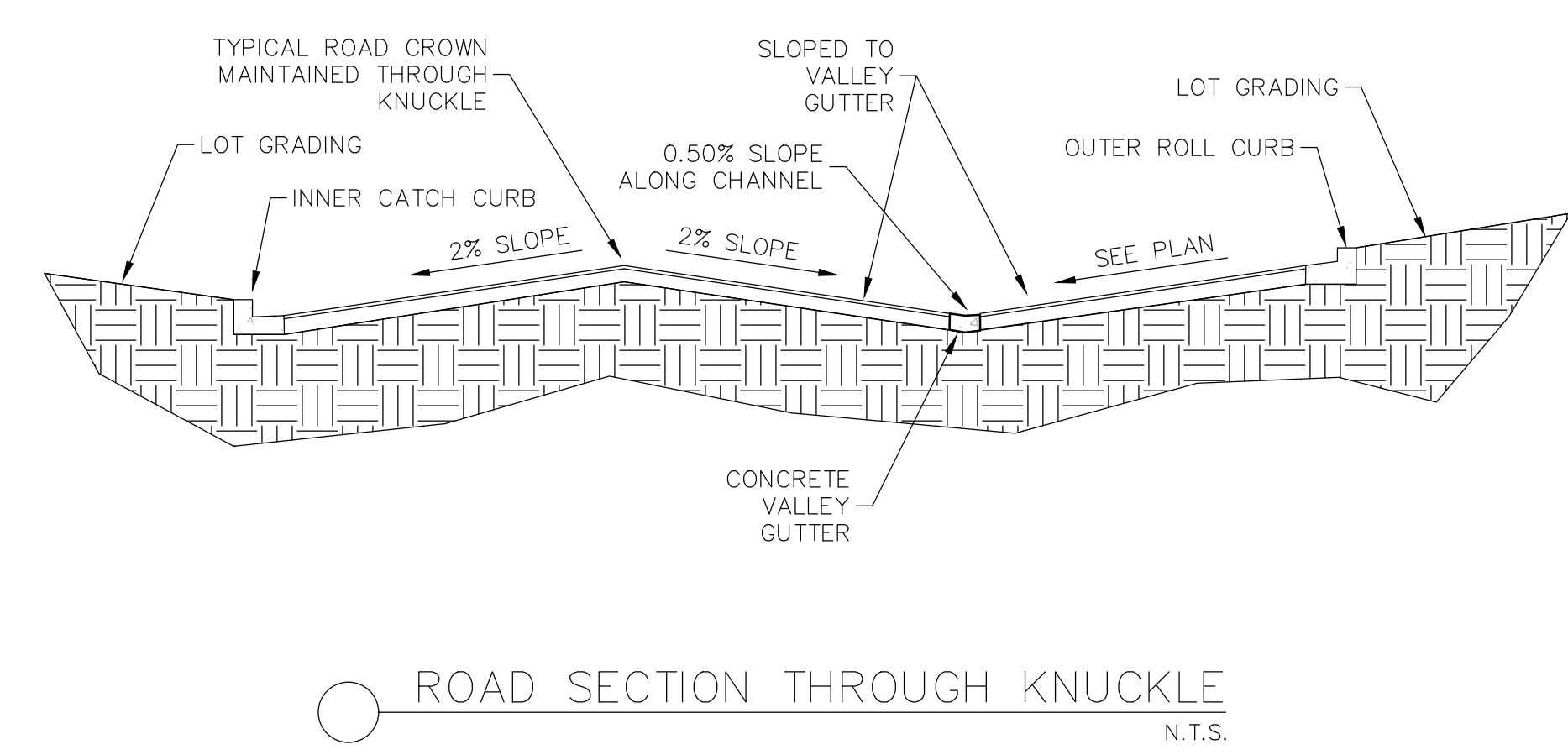
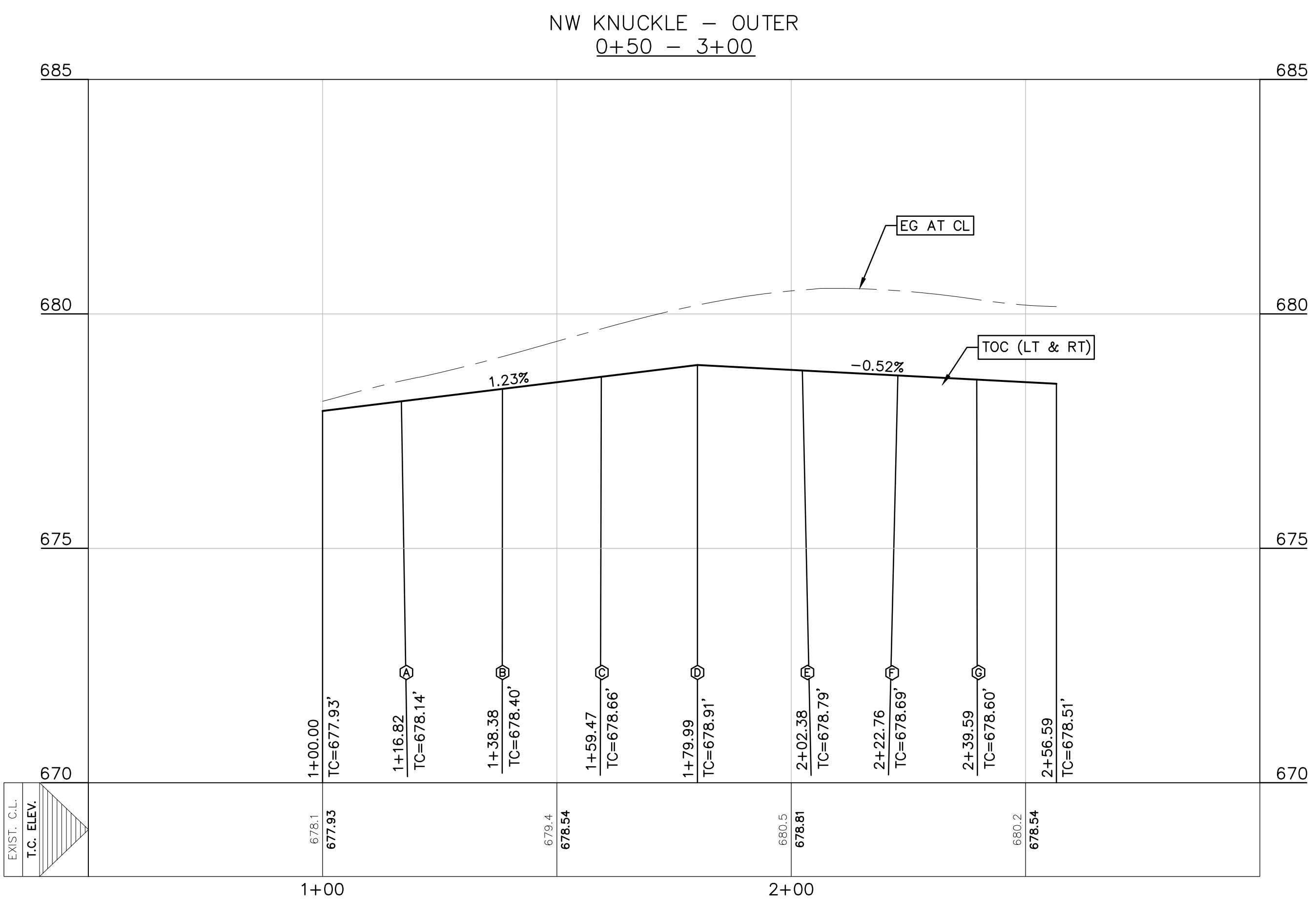
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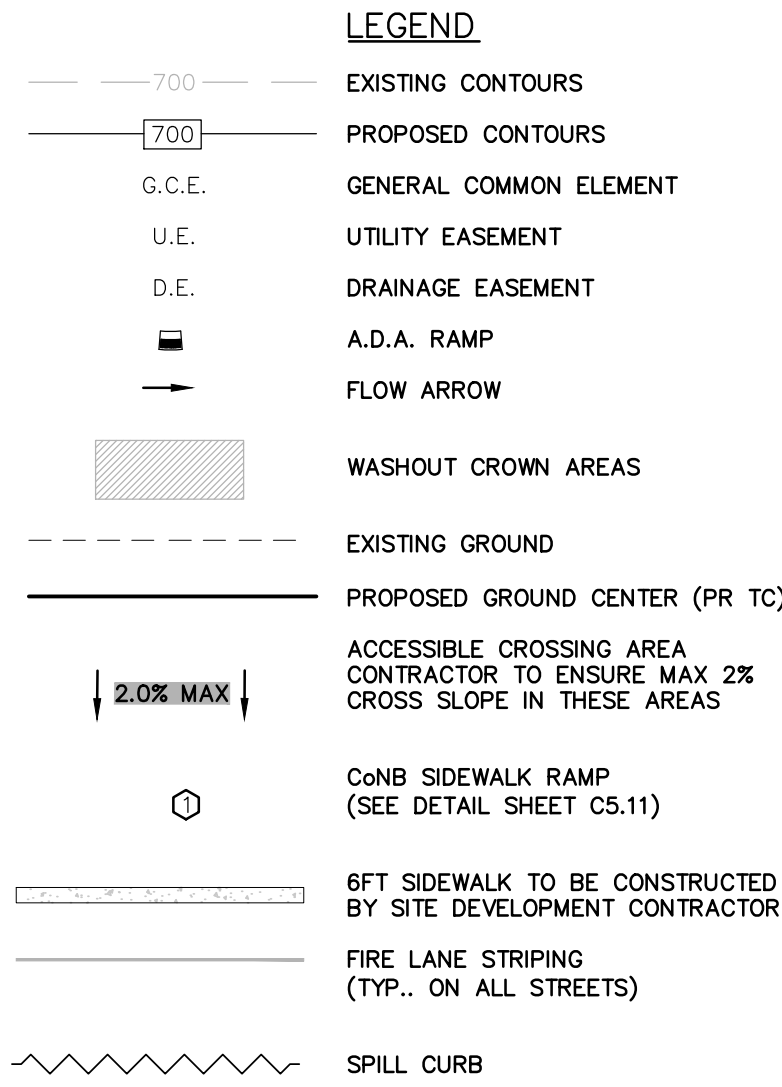
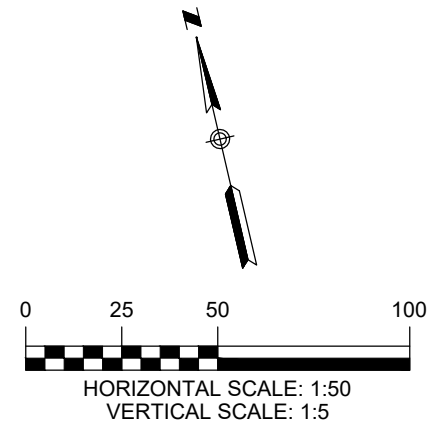
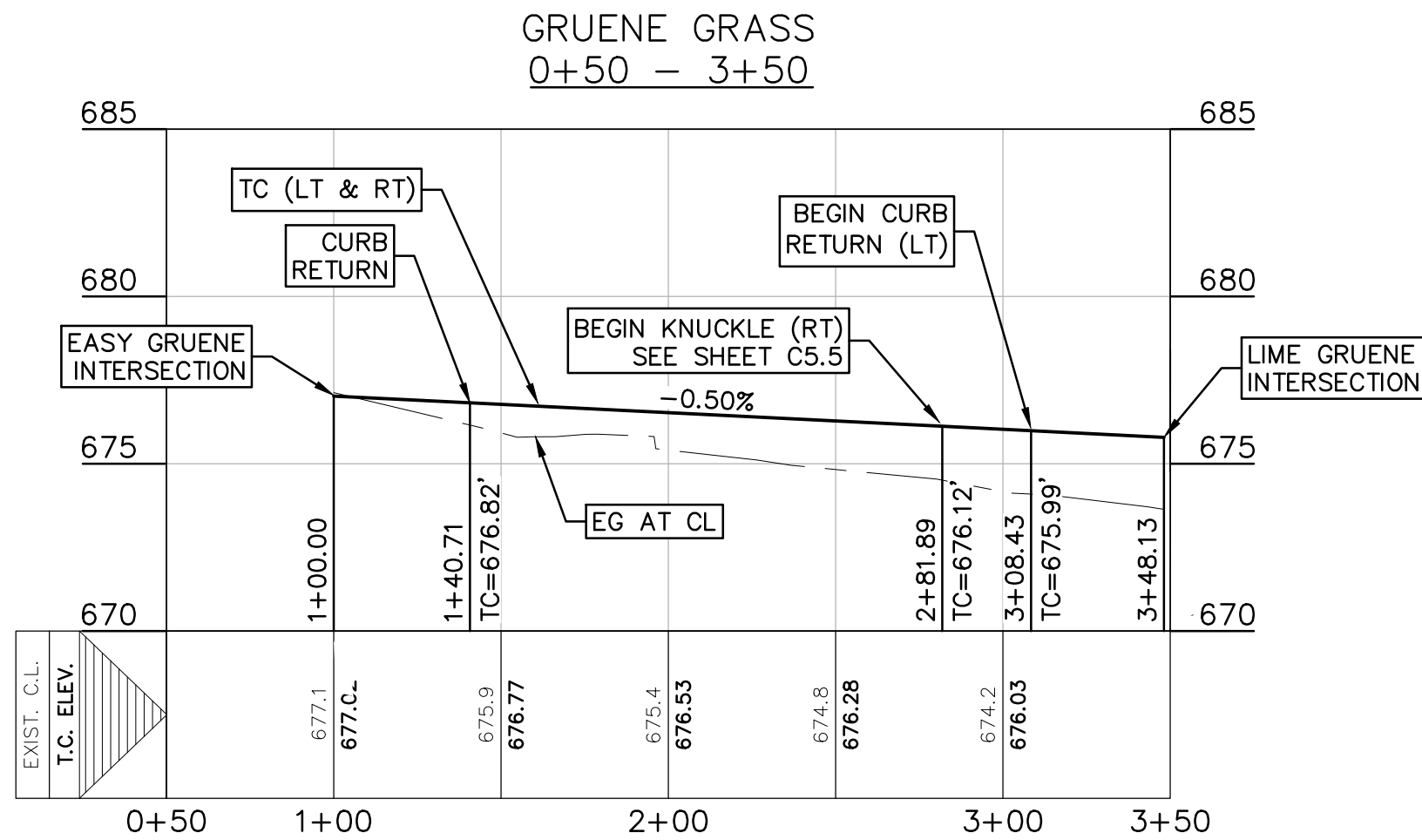
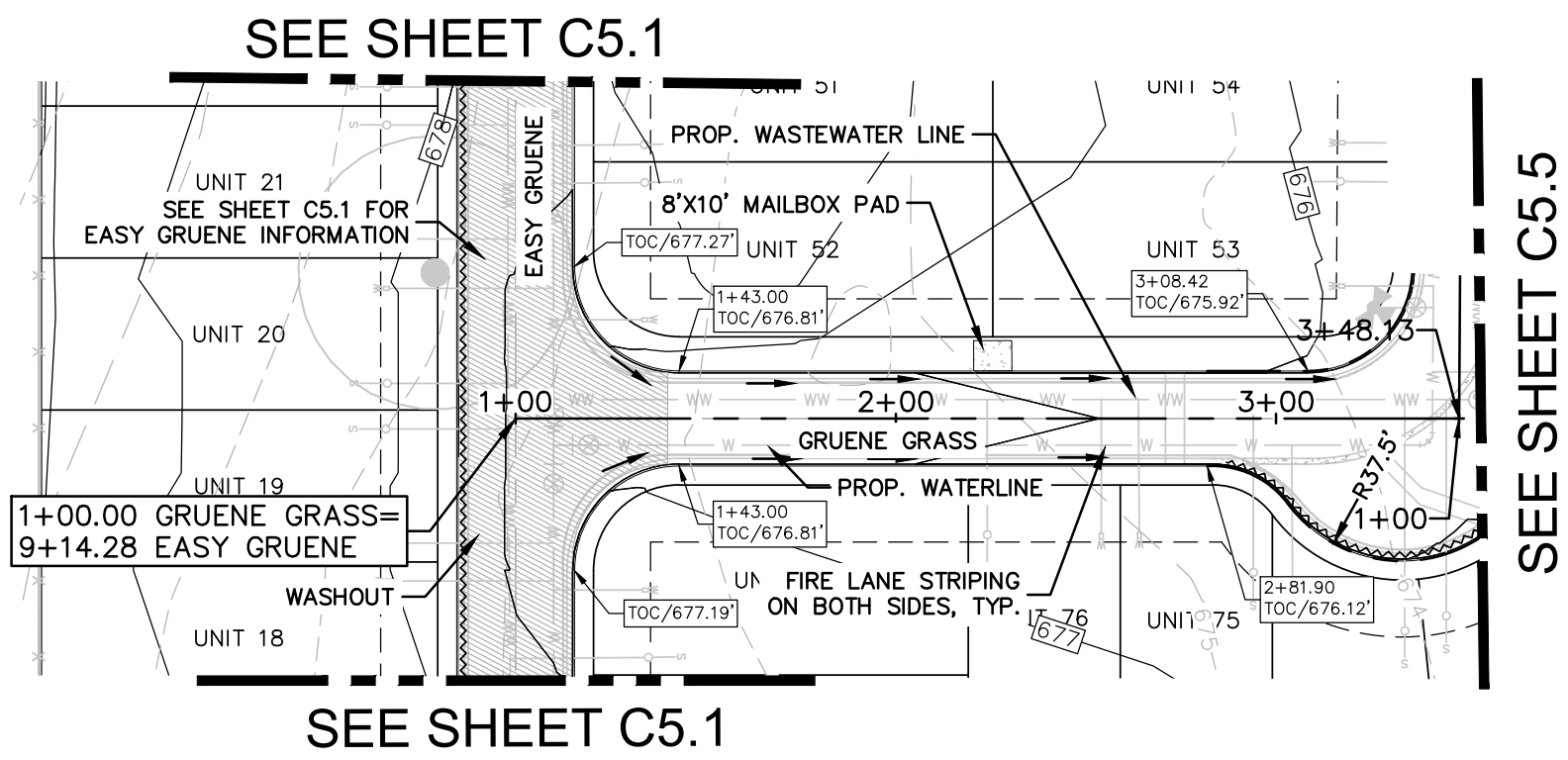
**EASY GRUENE KNUCKLE
PLAN AND PROFILE
VILLAGE AT GRUENE
CONDOMINIUMS**



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NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020
DRAWN BY: HLC
DESIGNED BY: HLC
REVIEWED BY: CVH
HMT PROJECT NO.: 170.004
SHEET
C5.3



NOTES

- STREETS WERE DESIGNED TO POSTED SPEED LIMIT OF 25 MPH.
- IN WASHOUT CROWN AREAS, THE CURB ON THE HIGH SIDE OF THE STREET SHOULD BE SPILL CURB AS DESIGNATED ON THE PLANS.
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**GRUENE GRASS
PLAN AND PROFILE
VILLAGE AT GRUENE
CONDOMINIUMS**

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

**SHEET
C5.4**

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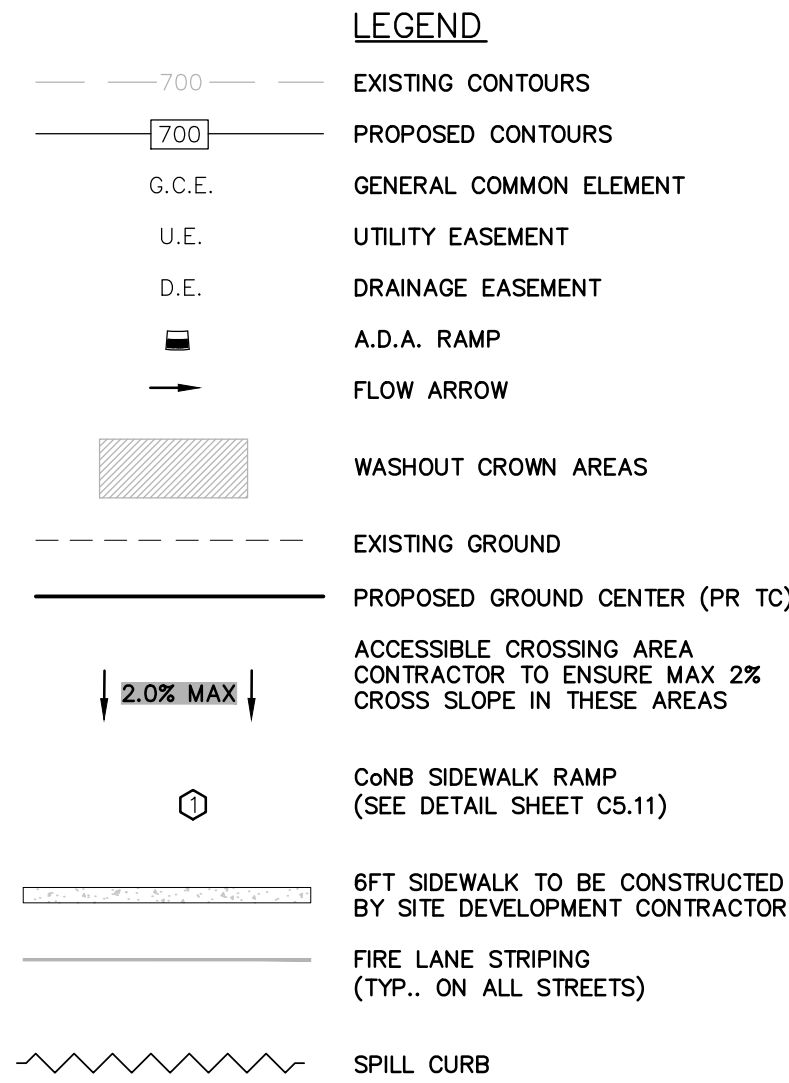
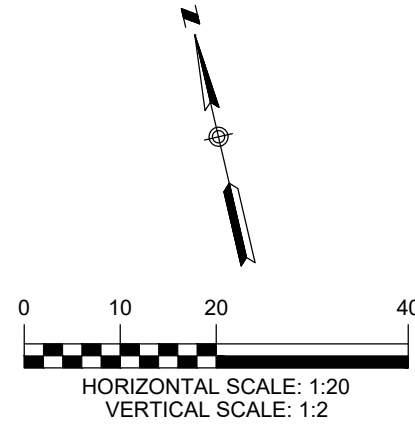
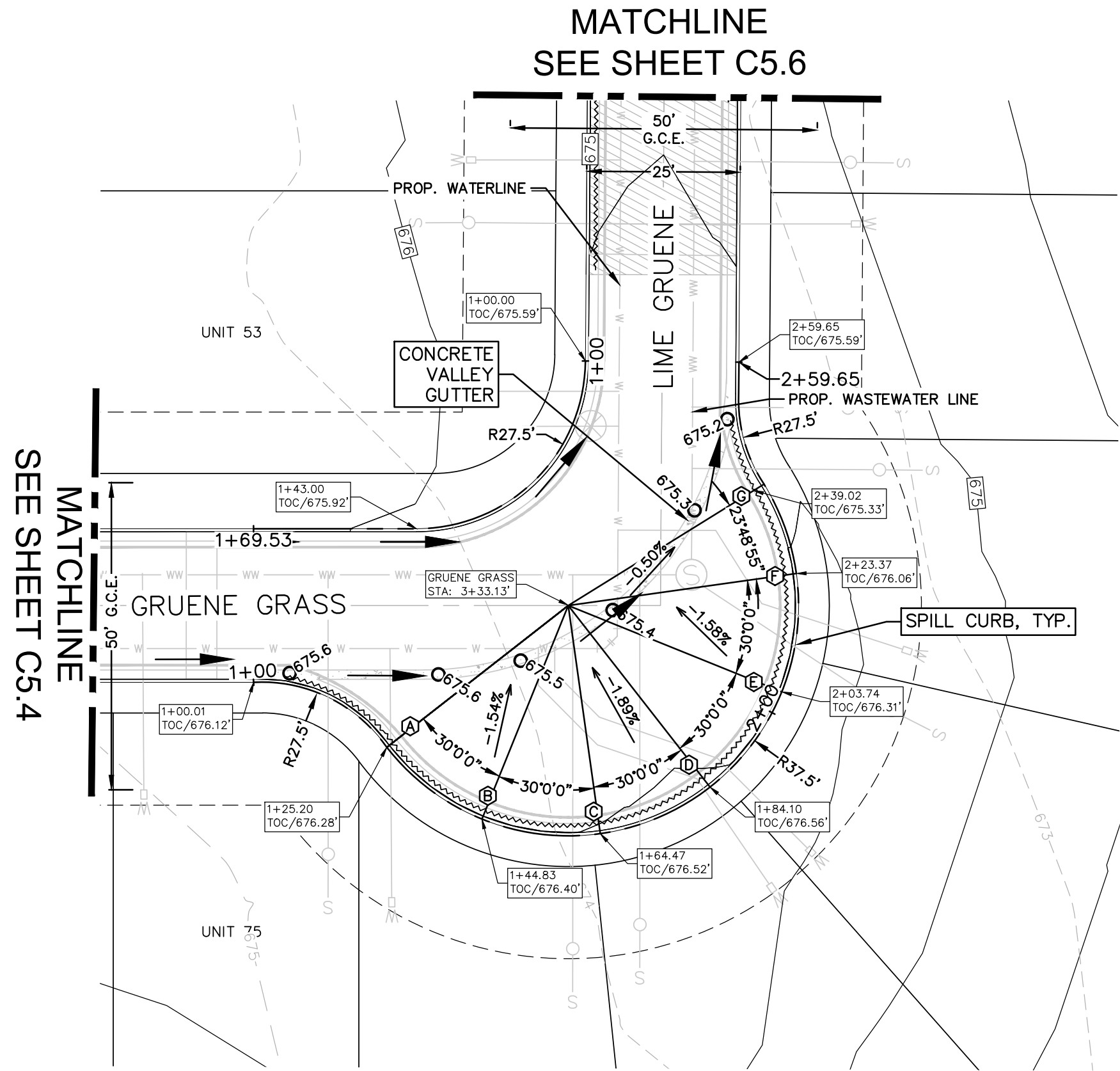
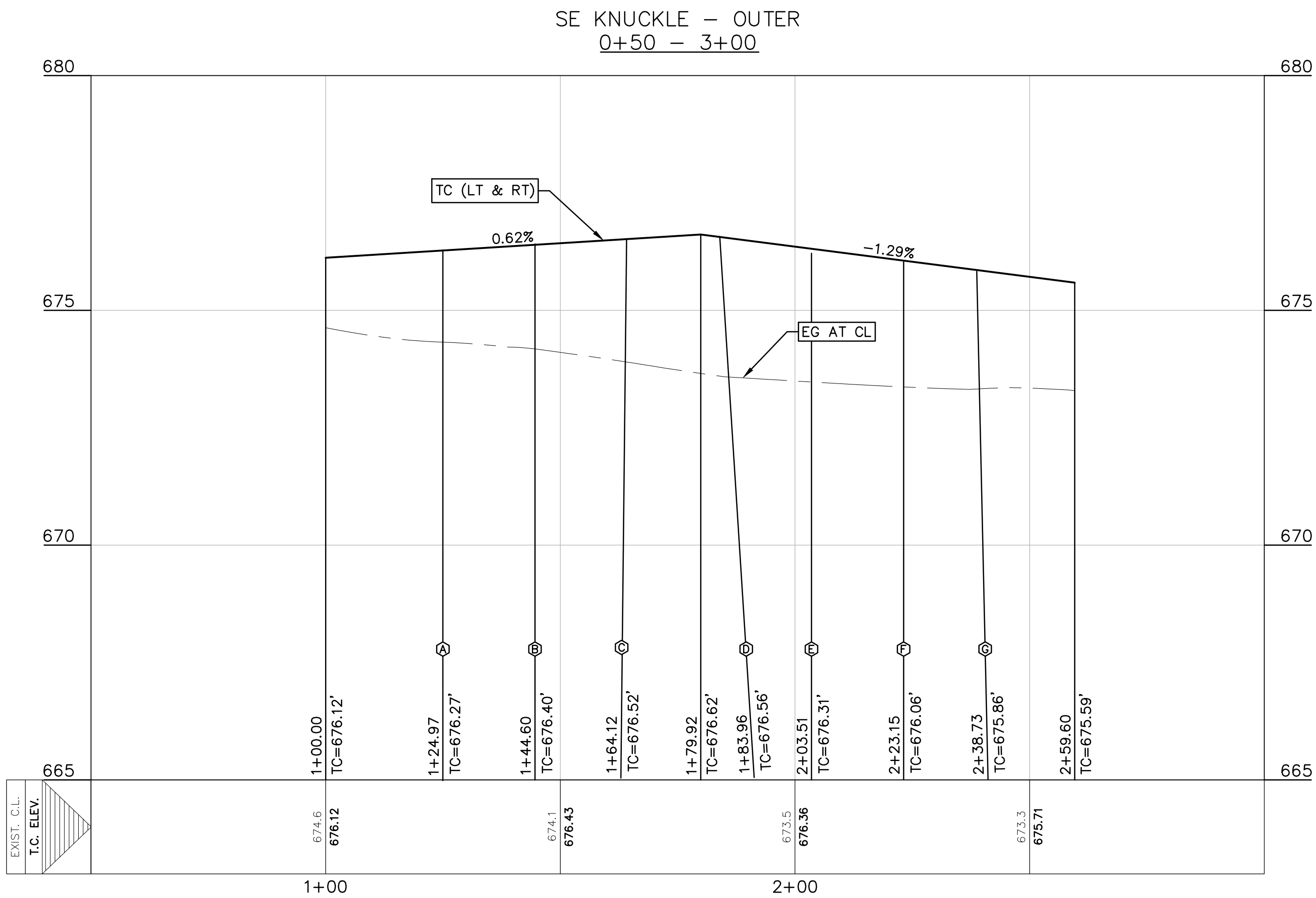
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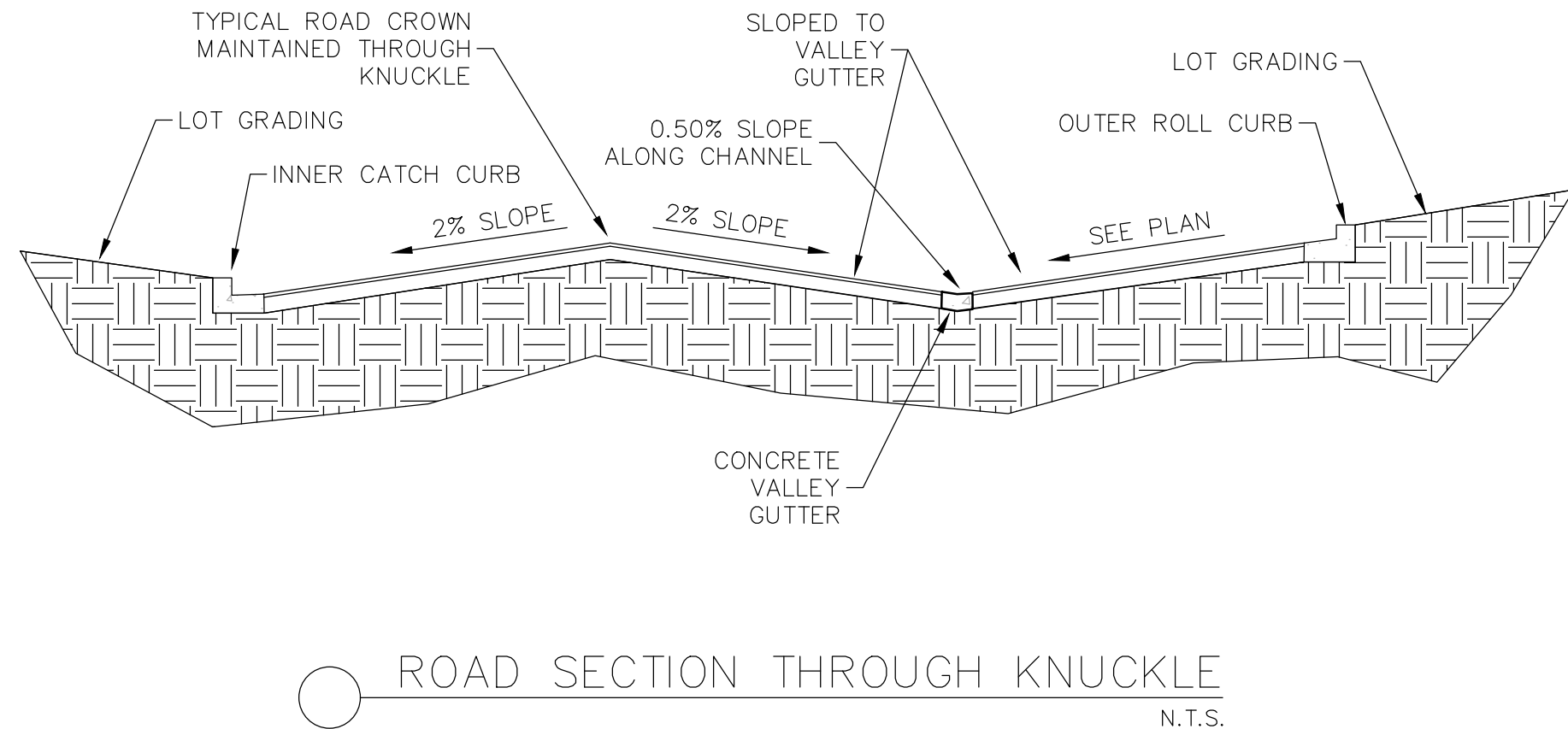
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NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



Drawing Name: N:_Projects\170 - James Asghar\170.004 - Villages at Gruene Garden Homes\Draw\170.004_STREET.dwg User: hank-crippen Jun 03, 2020 - 5:11pm



- NOTES
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GRUENE GRASS KNUCKLE
PLAN AND PROFILE
VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

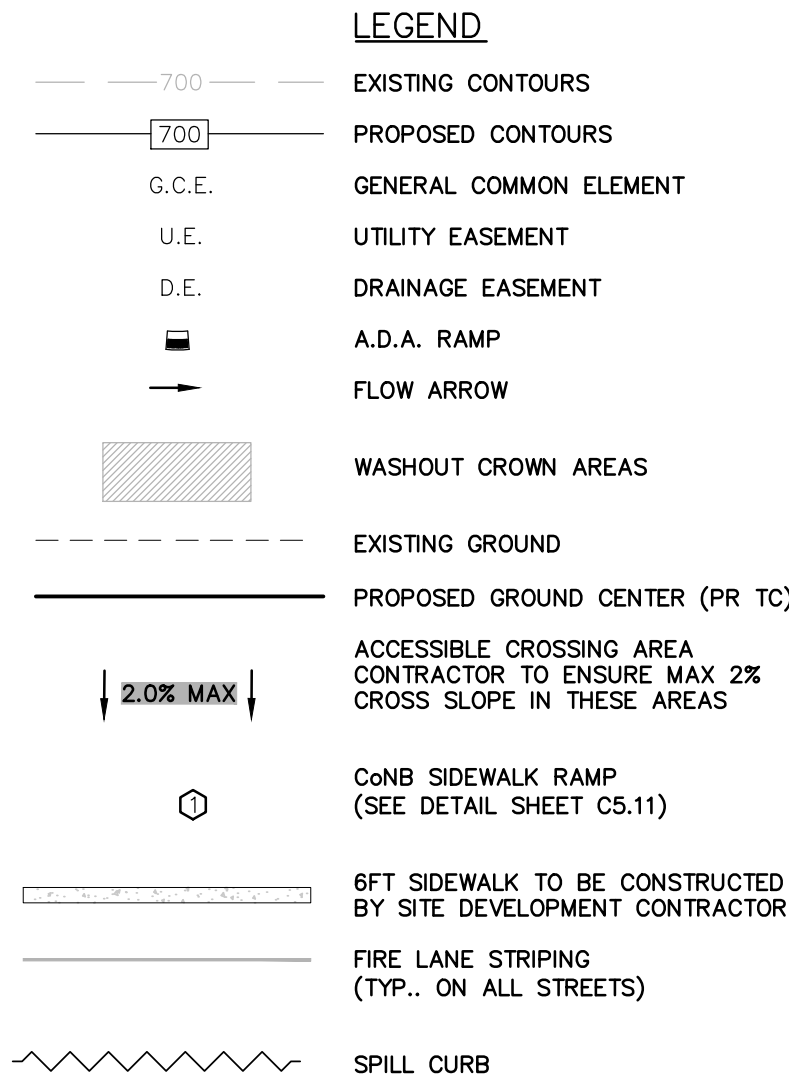
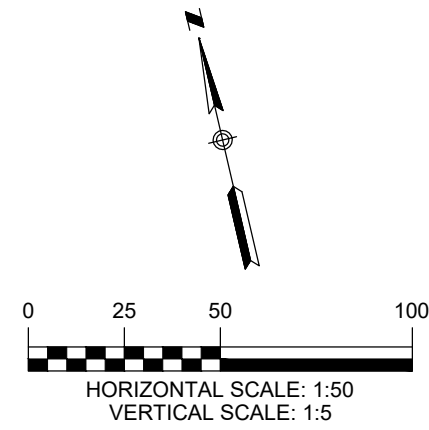
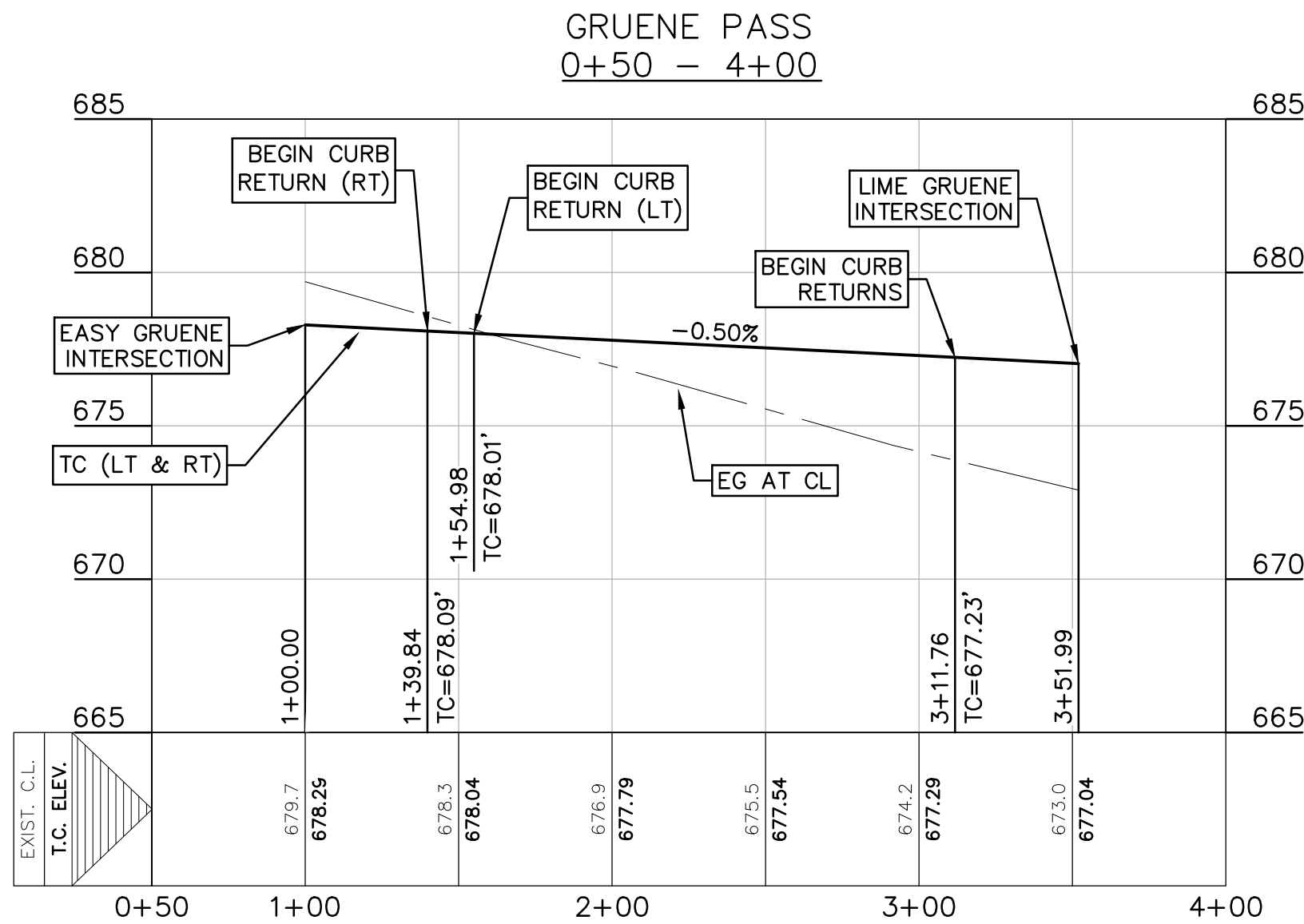
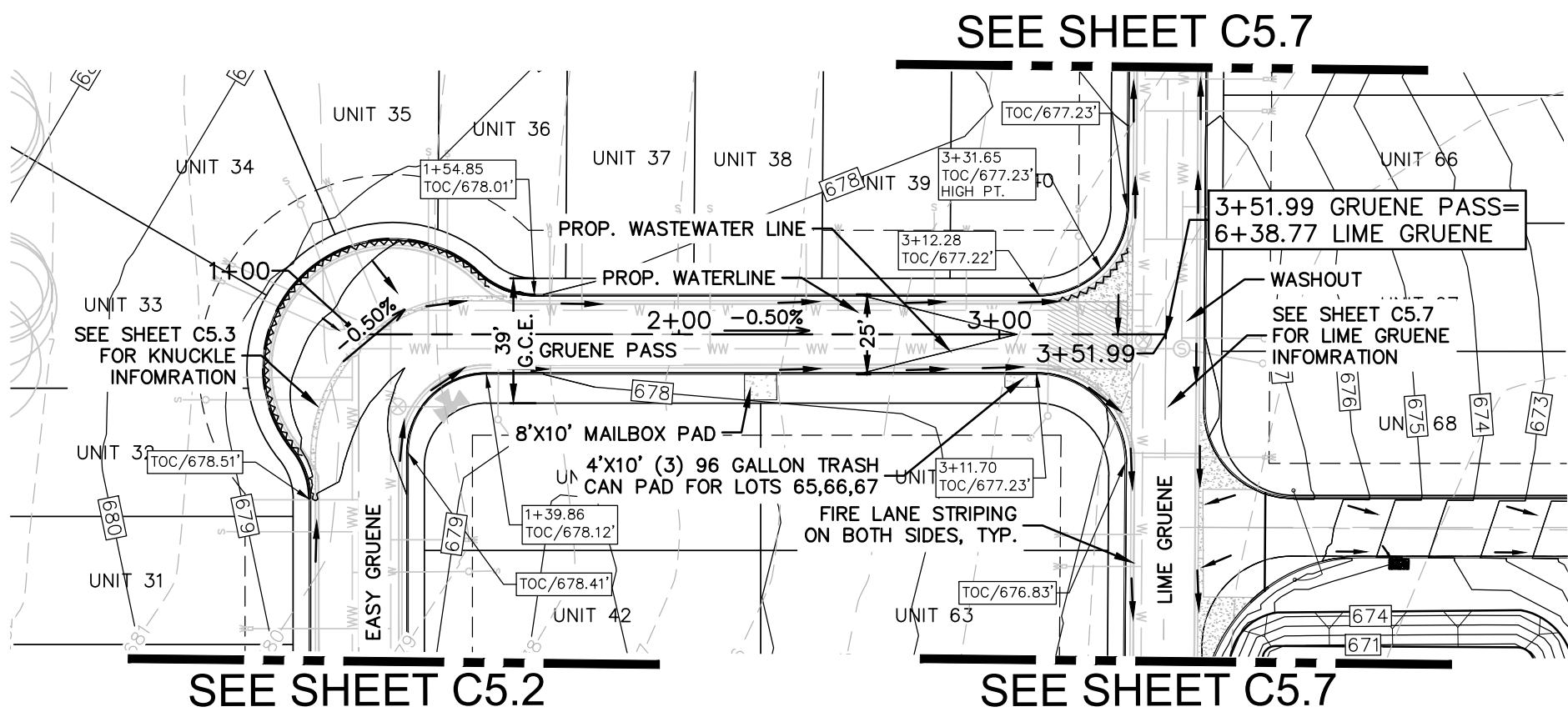
SHEET
C5.5

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Chris Van Heerde, P.E.



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Chris Van Heerde, P.E.

**GRUENE PASS
PLAN AND PROFILE
VILLAGE AT GRUENE
CONDOMINIUMS**

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.: 170.004

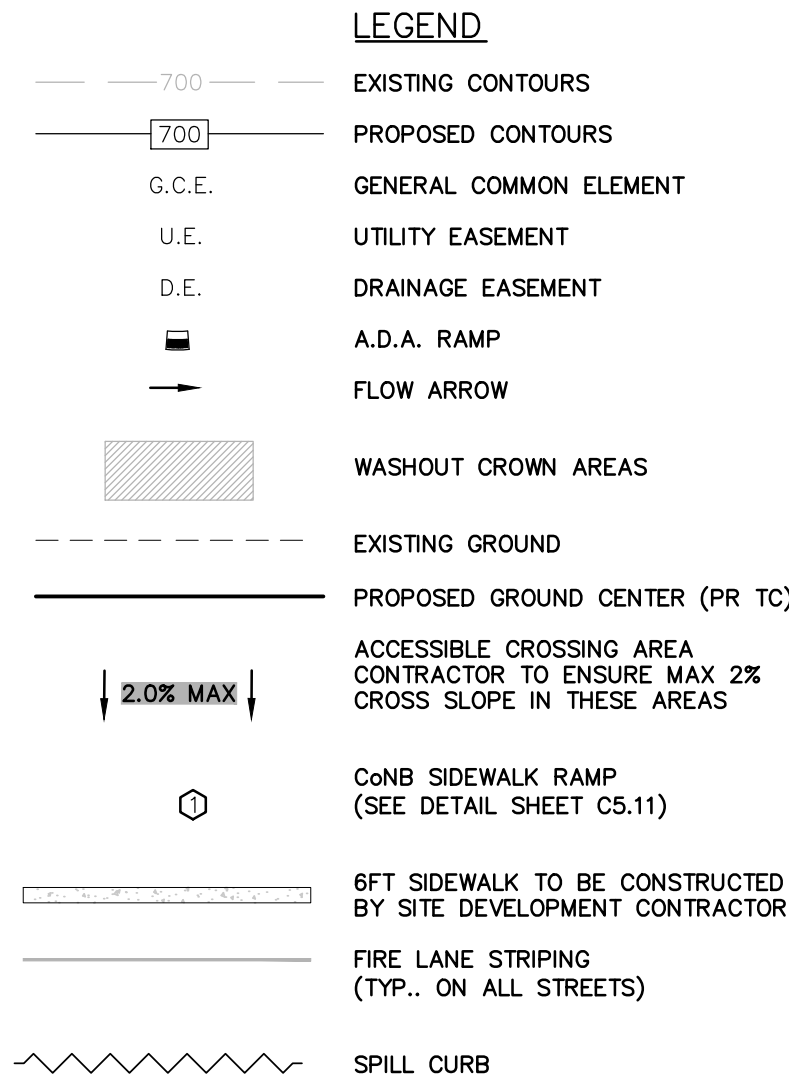
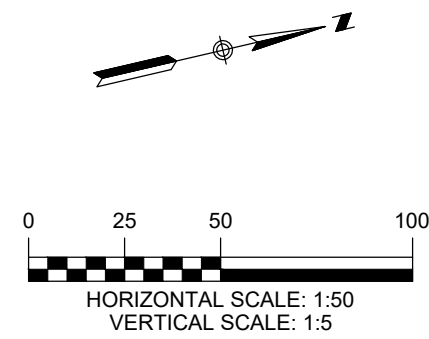
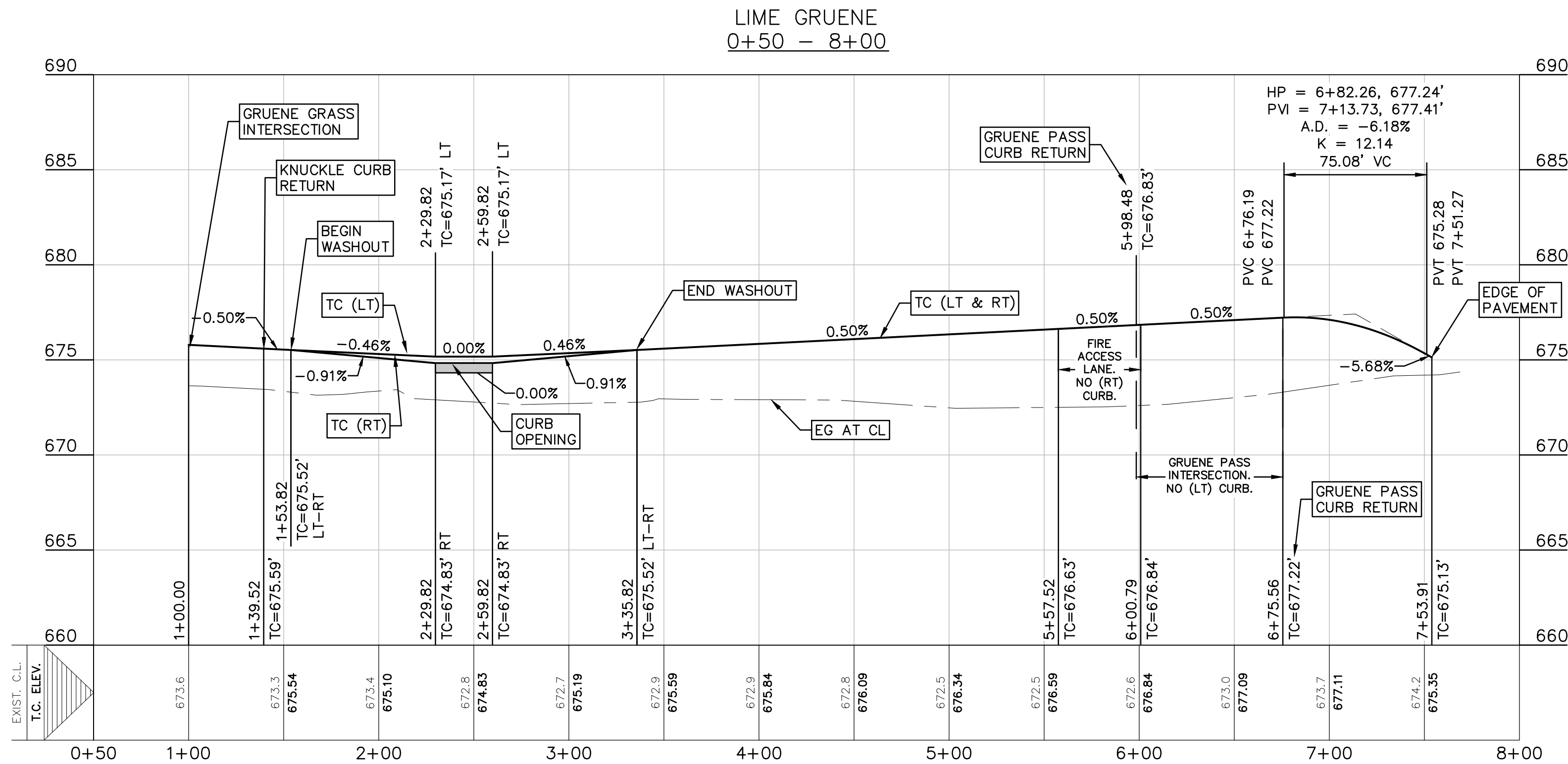
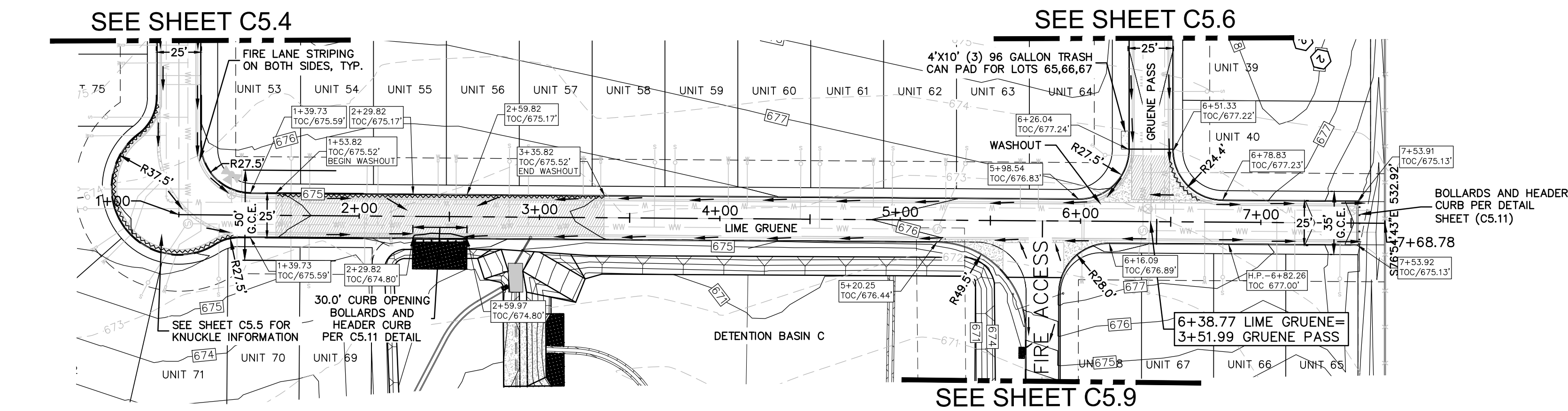
**SHEET
C5.6**

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Drawing Name: N:\Projects\170 - James Aspeth\170.004 - Villages at Gruene Garden Homes\170.004 - Villages at Gruene Garden Homes\170.004_STREET.dwg User: hank-crippen Jun 03, 2020 - 5:11pm



NOTES

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**LIME GRUENE
PLAN AND PROFILE
VILLAGE AT GRUENE
CONDOMINIUMS**

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

**SHEET
C5.7**

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Chris Van Heerde, P.E.

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User: hank=crippen Jun 03, 2020 - 5:11pm

BLEWETT, ALLEN, BINGHAM,
CALLED 12.195
DOC. NO. 200706026391
O.P.R.C.C.T.

PAVEMENT MARKING REQUIREMENTS

PAVEMENT MARKING REQUIREMENTS PAVEMENT MARKINGS SHALL BE USED IN ACCORDANCE WITH THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND WHERE JUSTIFIED BY ENGINEERING JUDGMENT OR STUDY.

ALL PAVEMENT MARKINGS SHALL BE SHOWN IN THE ENGINEERING PLANS FOR REVIEW AND APPROVAL AS PART OF THE PLAN & PROFILE SHEET OR SEPARATE SIGNING & PAVEMENT MARKING LAYOUT SHEET. DESIGN, MATERIALS AND INSTALLATION SHOULD FOLLOW TxDOT TRAFFIC STANDARDS PM (1-4) 12. CITY OF SAN ANTONIO TRAFFIC ENGINEERING STANDARDS FOR PAVEMENT MARKINGS DESIGNATING TRAFFIC LANES, LANE USAGE & LANE REGULATIONS AND PEDESTRIAN/BICYCLIST ACCOMMODATIONS MAY BE USED FOR ADDITIONAL STANDARD DESIGN DETAILS. MARKING STANDARDS SHALL BE INCLUDED IN THE ENGINEERING PLANS.

ALL PAVEMENT MARKINGS SHALL BE TYPE I HOT APPLIED THERMOPLASTIC AND MEET TXDOT DEPARTMENTAL MATERIAL SPECIFICATIONS DMS-8220. TYPE II TRAFFIC PAINT MARKINGS SHALL ONLY BE USED AS SEALER AND MEET TXDOT DEPARTMENTAL MATERIAL SPECIFICATIONS DMS-8200.

SIGNAGE NOTES

INSTALLATION

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY, WARNING AND STREET NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS.

MOUNTING

THE WEDGE ANCHOR STEEL SYSTEM AND THIN-WALLED TUBING POST SHALL BE USED FOR SIGNS WITH UP TO 10 SQUARE FEET OF SIGN AREA. MATERIALS AND INSTALLATION SHOULD FOLLOW THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) TRAFFIC STANDARDS SMD (GEN) - 08 AND SMD (TWT) - 08.

THE TRIANGULAR SLIP BASE SYSTEM AND 10 BWG TUBING POST SHALL BE USED FOR SIGNS THAT HAVE 10 TO 16 SQUARE FEET OF SIGN AREA. MATERIALS AND INSTALLATION SHOULD FOLLOW THE TxDOT TRAFFIC STANDARDS SMD (GEN) - 08 AND SMD (SLIP-1-3)- 08.

OBJECT MARKERS MATERIALS AND INSTALLATION SHOULD FOLLOW THE TXDOT TRAFFIC STANDARDS D & OM (1 - 5) - 10.

LEGEND

EXISTING CONTOURS

PROPOSED CONTOURS

BUILDING SETBACK LINE

UTILITY EASEMENT

DRAINAGE EASEMENT

FLOW ARROW

SPILL CURB

RECEIVED 1997-01-27

.....

NOTES:

1. STREETS WERE DESIGNED TO POSTED SPEED LIMIT OF 25 MPH.
2. ALL A.D.A. RAMPS ARE TO BE CONSTRUCTED BY THE SITE DEVELOPMENT CONTRACTOR AT THE TIME OF STREET CONSTRUCTION.

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SIGNAGE AND PAVING PLAN

VILLAGE AT GRUENE CONDOMINIUMS

[illegible]

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

HMT PROJECT NO.:

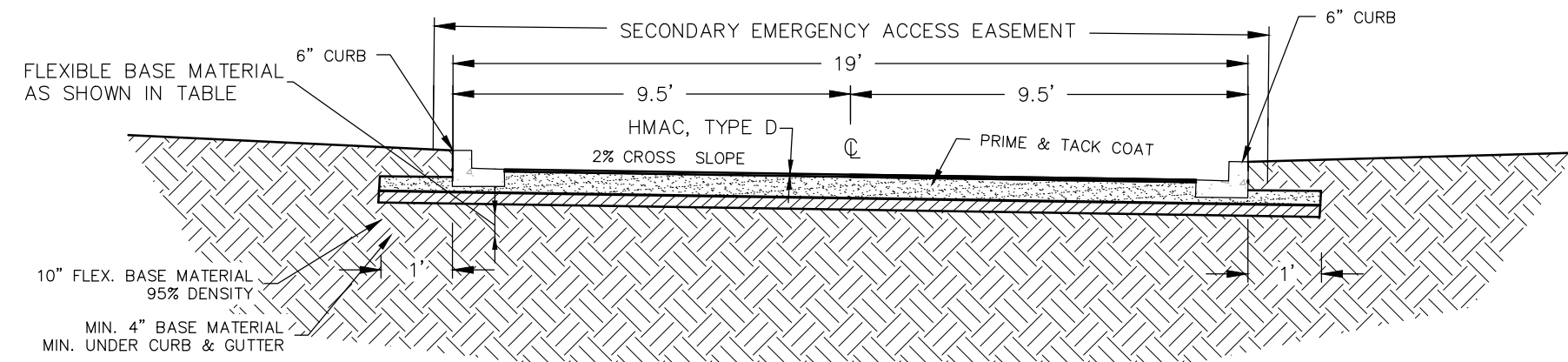
170.004

SHEET

C5.8

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Drawing Name: N:_Projects\170 - James Tophet\170.004 - Villages at Gruene Garden Homes\CDs\170.004_STREET.dwg User: hank-crippen Jun 03, 2020 - 5:11pm

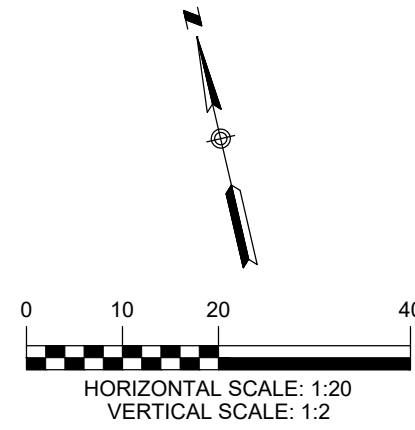


TEMPORARY ACCESS FIRE LANE SECTION
N.T.S.

FLEXIBLE PAVEMENTS (RESIDENTIAL STREETS)	
PAVEMENT MATERIAL	
TYPE "D" HMA	2"
CRUSHED LIMESTONE FLEXIBLE BASE, IN.	10"
COMPACTED SUBGRADE	6"

NOTE:

- ALL PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE TO THE "SUBGRADE VERIFICATION AND PAVEMENT RECOMMENDATIONS THE RESERVE AT GRUENE VILLAGE", BY TERRADYNE OF AUSTIN, DATED NOVEMBER 20, 2019.
- ALL PAVEMENT SECTIONS SHOWN ON THE ABOVE TABLE SHALL SUPERCEDE ANY STANDARD DETAILS WITH RESPECT TO DEPTH OF MATERIALS ASSOCIATED WITH THIS PROJECT.
- THE SUBGRADE SOILS SHOULD BE TESTED FOR SOLUBLE SULPHATE CONTENT PRIOR TO INSTALLATION OF THE LIME OR CEMENT.

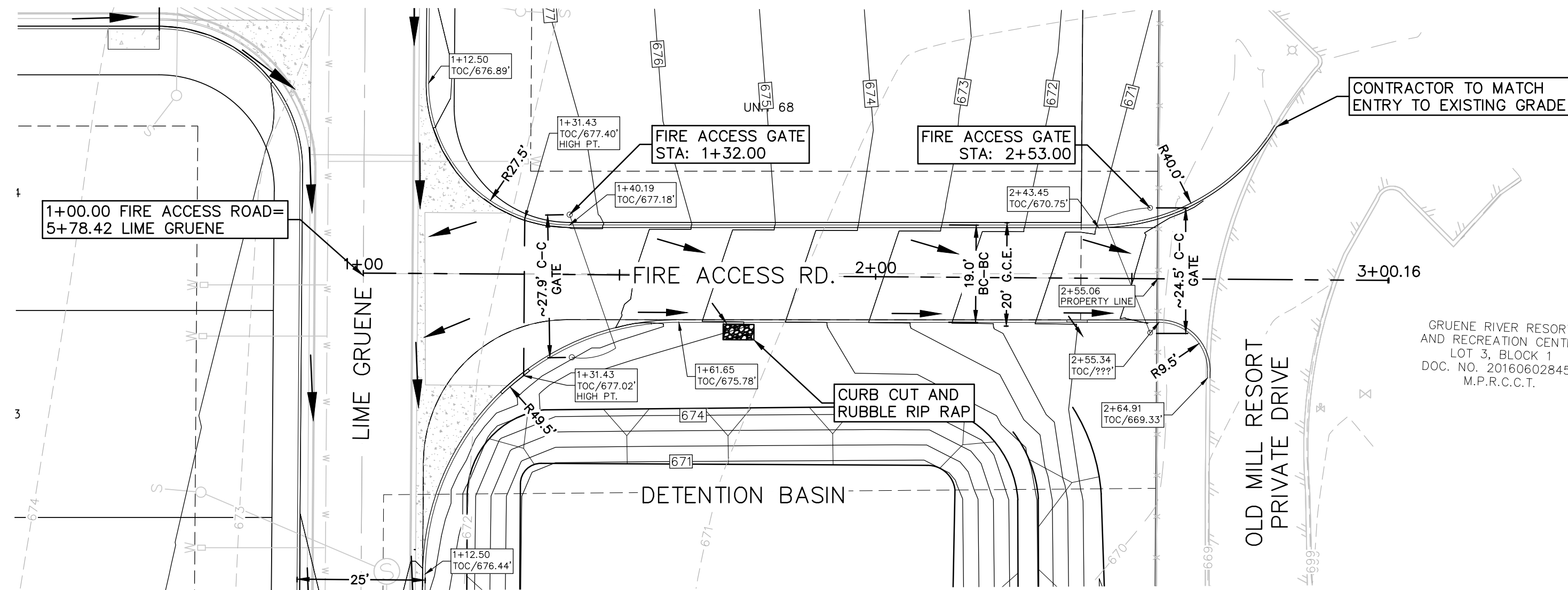


LEGEND

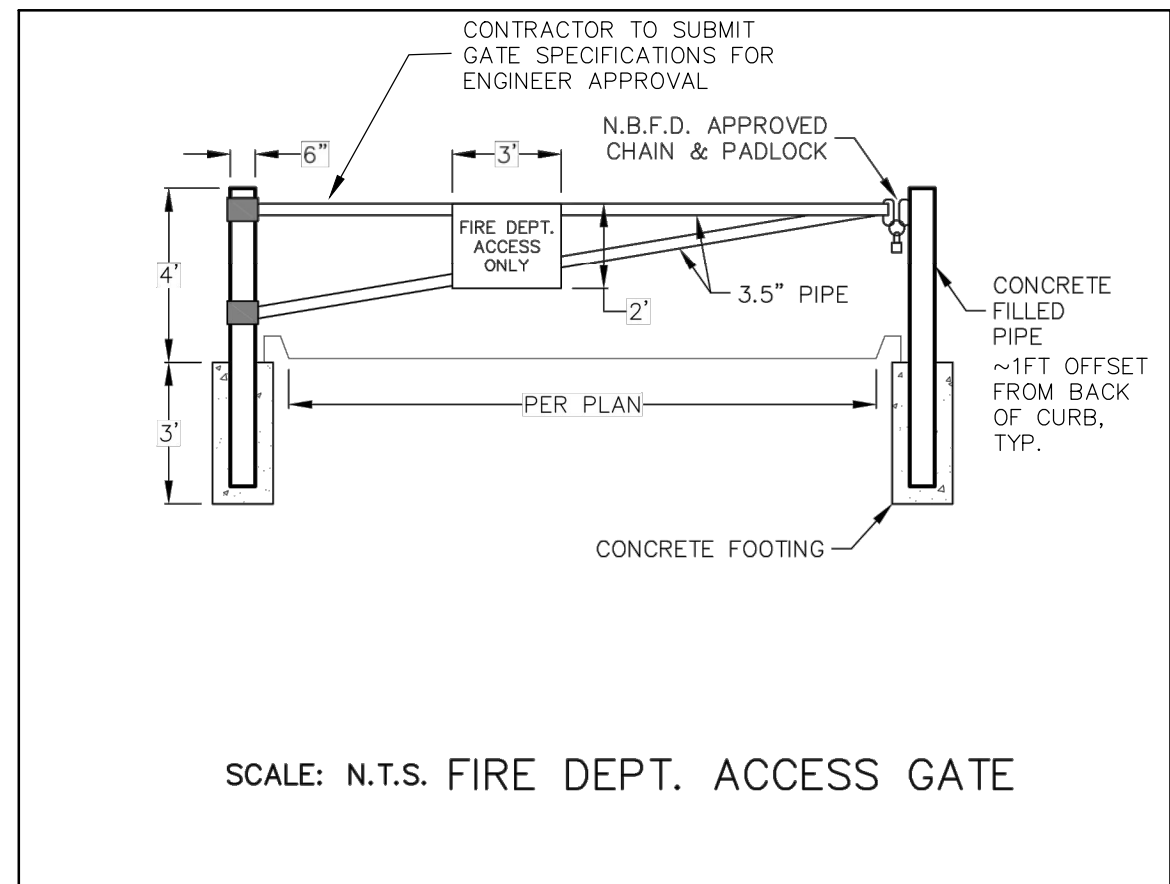
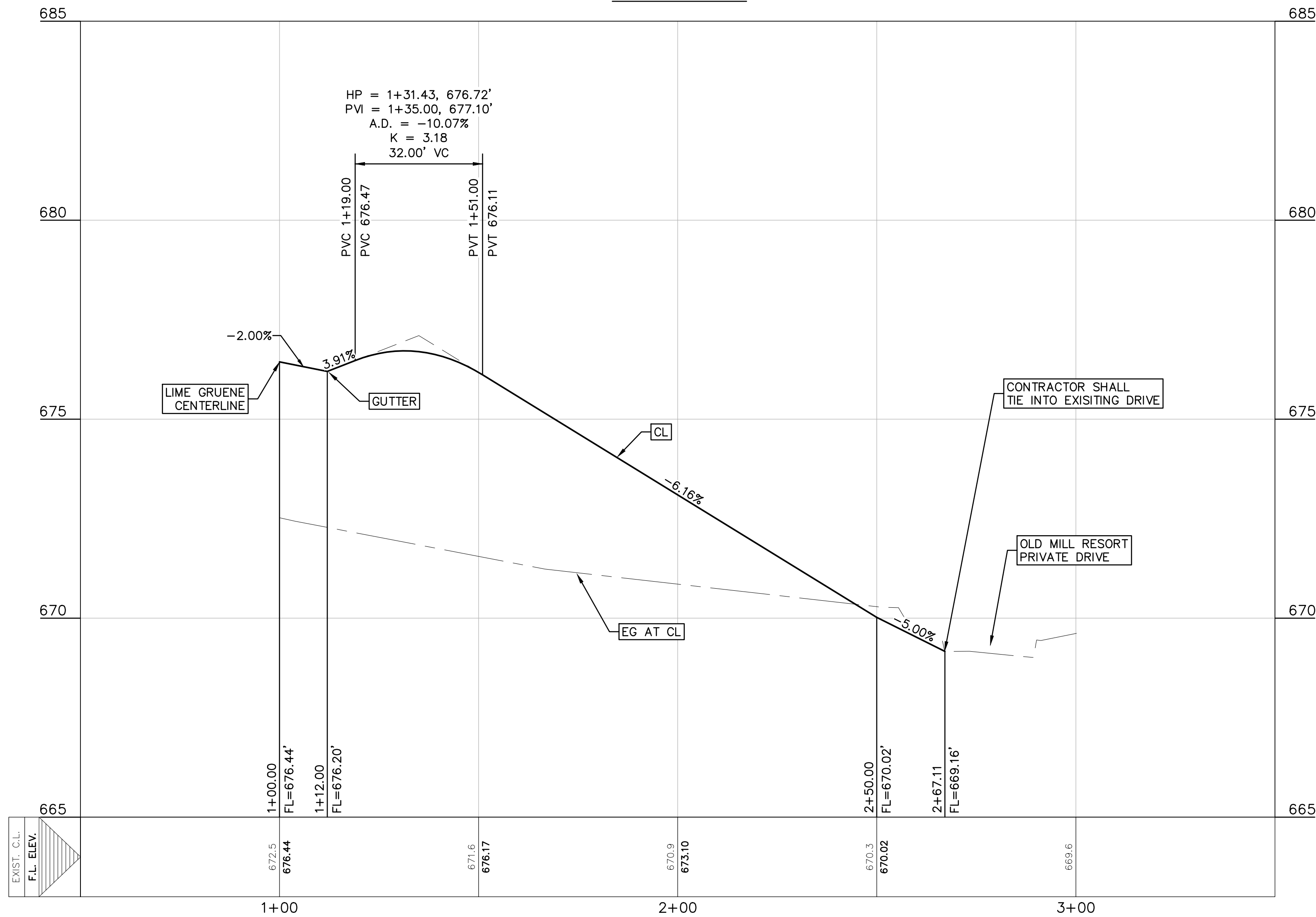
- EXISTING CONTOURS
- PROPOSED CONTOURS
- G.C.E. GENERAL COMMON ELEMENT
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- A.D.A. RAMP
- FLOW ARROW
- WASHOUT CROWN AREAS
- EXISTING GROUND
- PROPOSED GROUND CENTER (PR TC)
- ACCESSIBLE CROSSING AREA CONTRACTOR TO ENSURE MAX 2% CROSS SLOPE IN THESE AREAS
- 2.0% MAX
- CONB SIDEWALK RAMP (SEE DETAIL SHEET C5.11)
- 6FT SIDEWALK TO BE CONSTRUCTED BY SITE DEVELOPMENT CONTRACTOR
- FIRE LANE STRIPING (TYP.. ON ALL STREETS)

NOTES

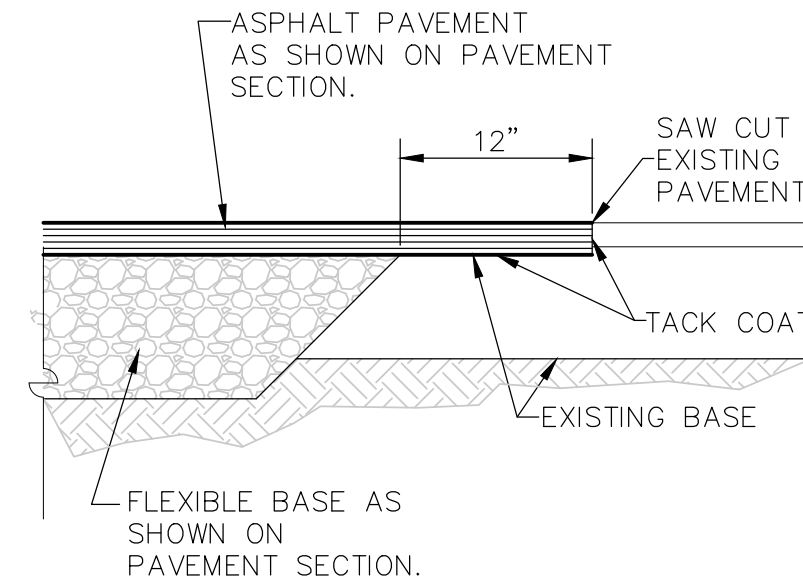
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FIRE ACCESS ROAD
0+50 - 3+50



SCALE: N.T.S. FIRE DEPT. ACCESS GATE



NEW PAVEMENT TO EXISTING
NOT TO SCALE

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FIRE ACCESS PLAN AND
PROFILE
VILLAGE AT GRUENE
CONDOMINIUMS

REVISION	DESCRIPTION	REVISION DATE
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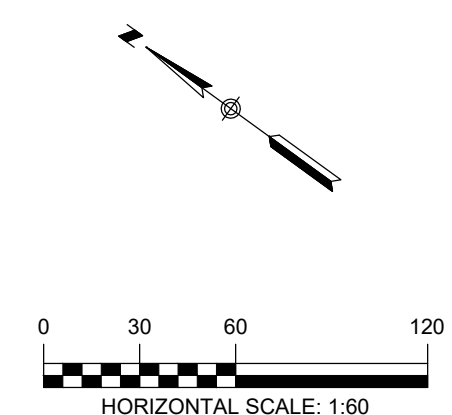
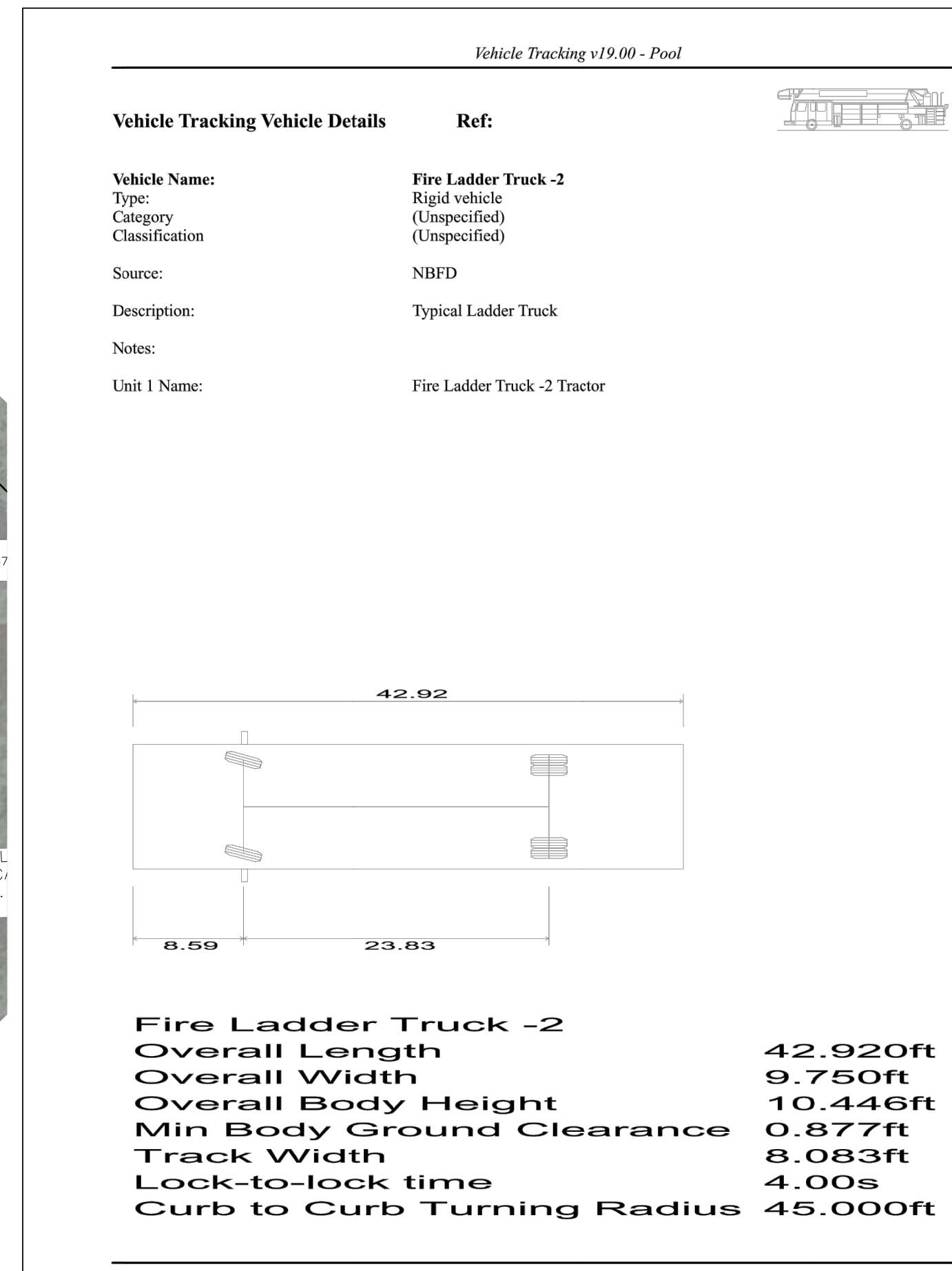
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DESIGNED BY: HLC

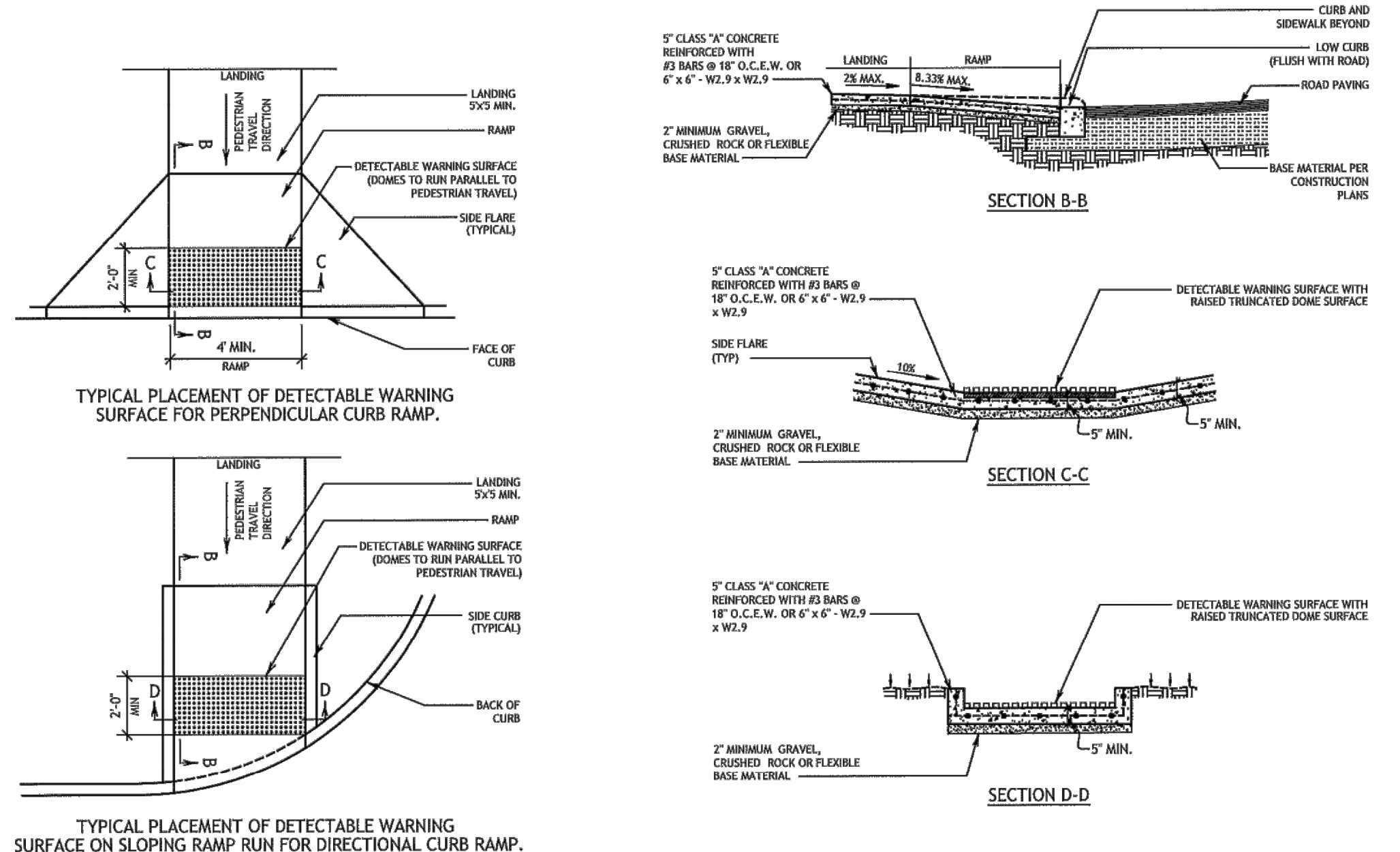
REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

SHEET
C5.9

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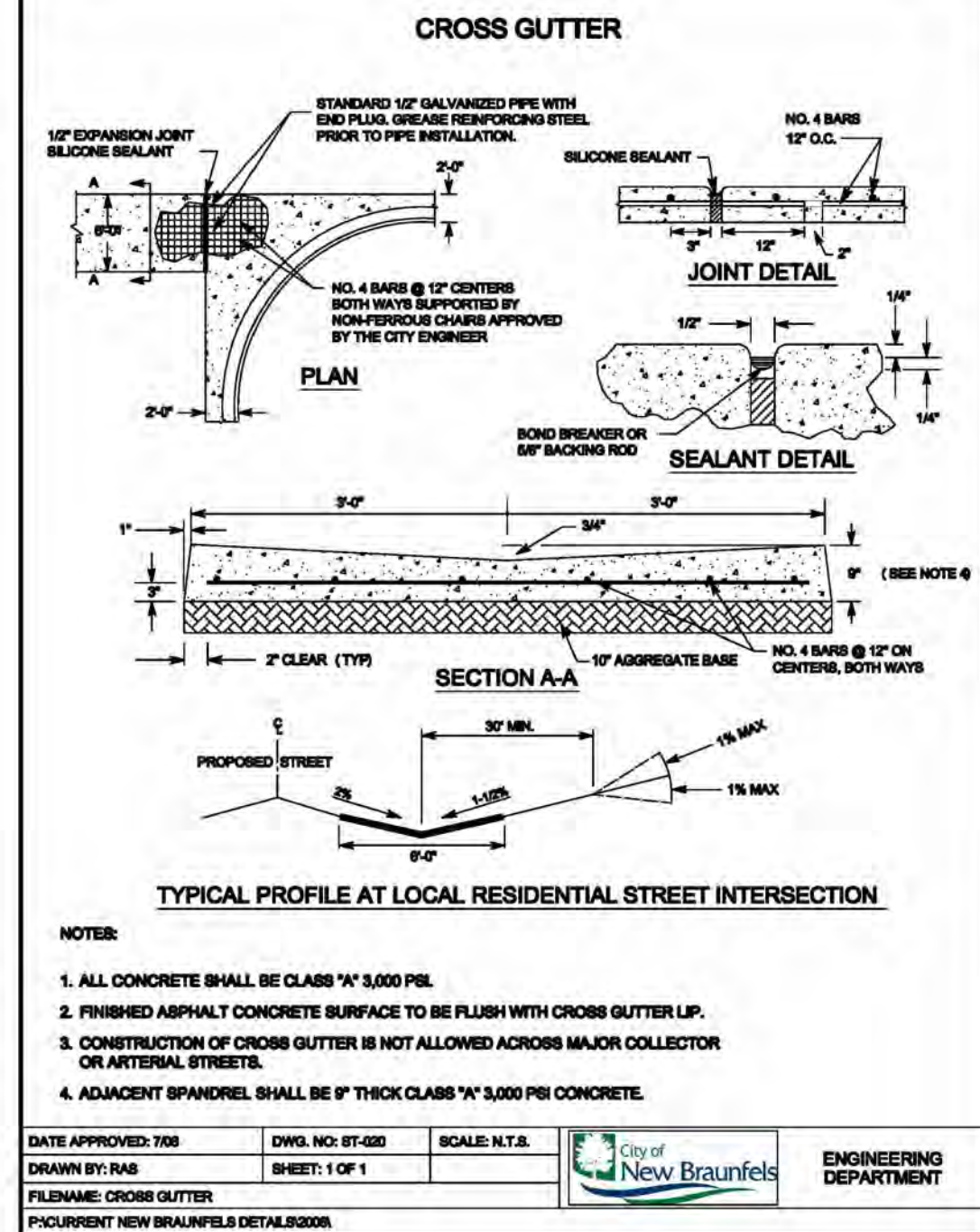
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ENGINEERING DIVISION
650 LANDA STREET
NEW BRAUNFELS, TEXAS 78130
PHONE: 830 221 4020
FAX: 830 628 3600

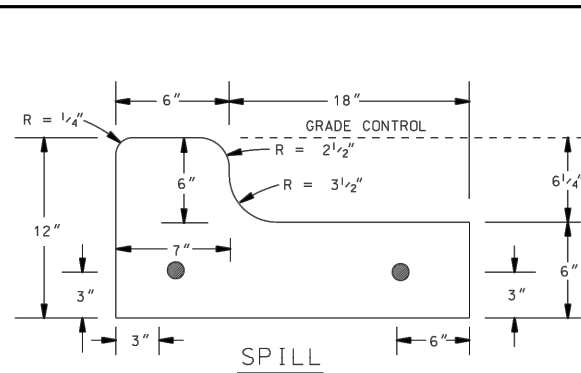
CURB RAMP STANDARDS			
APPROVED DATE:	05/18/2017	DWG. NO.:	ST-019
DRAWN BY:	RC	CONTACT:	GF
SCALE:	AS NOTED	SHEET:	1 OF 1

- ### CURB RAMP NOTES
1. ALL SLOPES ARE MAXIMUM ALLOWABLE, THE LEAST POSSIBLE SLOPE THAT WILL STILL DRAIN PROPERLY SHOULD BE USED, ADJUST CURB RAMP LENGTH OR GRADE OF APPROACH SIDEWALKS AS DIRECTED.
 2. THESE DETAILS ARE FOR REFERENCE ONLY. ACTUAL LOCATIONS OF CURB RAMPS ARE TO BE SHOWN ON THE CONSTRUCTION PLANS. ALL ACCESSIBLE WALKWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) AND TEXAS ACCESSIBILITY STANDARDS (TAS). CITY ENGINEER OR BUILDING OFFICIAL MAY ADJUST LOCATIONS FOR SAFETY OR UTILITY CLEARANCE.
 3. THE MINIMUM STANDARD SIDEWALKS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 110-49 OF THE NEW BRAUNFELS CODE OF ORDINANCES.
 4. ALL LANDINGS WHERE REQUIRED SHALL BE 5' x 5' (60"x60") MINIMUM WITH A MAXIMUM 2% SLOPE IN ANY DIRECTION.
 5. RAMP LENGTHS SHALL BE SUFFICIENT TO MAINTAIN A MAXIMUM SLOPE OF 8.33% (1:12), MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND CURB RAMP SURFACES IS 2% (1V:50H).
 6. SIDEWALK GRADES SHALL NOT EXCEED THE GRADE ESTABLISHED FOR THE ADJACENT ROADWAY, ANY SIDEWALK CONSTRUCTION THAT DEVIATES FROM THE GRADE OF THE NATURAL GRADE OF THE ROADWAY TO CREATE A GRADE STEEPER THAN THE EXISTING ROADWAY WILL REQUIRE RAMPS, HANDRAILS, AND LANDINGS IN ACCORDANCE WITH CURRENT ADA AND THE REQUIREMENTS.
 7. PROVIDE FLARED RAMP SIDES WITH A MAXIMUM SLOPE OF 10% (1V:10H) MEASURED ALONG THE CURB LINE. CURB RETURNS MAY BE USED IN LIEU OF SIDE FLARES IN AREAS NOT NORMALLY WALKED ACROSS BY PEDESTRIANS, BECAUSE THE ADJACENT SURFACE IS VEGETATION OR OTHER NON-WALKING SURFACE OR WHERE THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
 8. MANEUVERING SPACE AT THE BOTTOM OF CURB RAMPS SHALL BE A MINIMUM OF 4' x 4' (48"x48") WHOLLY CONTAINED WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICULAR TRAVEL PATH.
 9. CROSSWALK DIMENSIONS, CROSSWALK MARKINGS AND STOP BAR LOCATIONS SHALL BE AS SHOWN ELSEWHERE IN THE PLANS. AT INTERSECTIONS WHERE CROSSWALK MARKINGS ARE NOT REQUIRED, CURB RAMPS SHALL BE ALIGNED WITH THEORETICAL CROSSWALKS, OR AS DIRECTED BY THE CITY ENGINEER OR BUILDING OFFICIAL.
 10. EXISTING FEATURES THAT COMPLY WITH CURRENT TAS REQUIREMENTS MAY REMAIN IN PLACE UNLESS OTHERWISE SHOWN ON THE PLANS.
 11. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. PROVIDE CURB RAMPS WHEREVER AN ACCESSIBLE ROUTE CROSSES (PENETRATES) A CURB.
 12. SEPARATE CURB RAMP AND LANDINGS FROM ADJACENT SIDEWALK AND ANY OTHER ELEMENTS WITH PRE-HOLD OR BOARD JOINT OF 1/2" UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER OR BUILDING OFFICIAL.
 13. PROVIDE A SMOOTH TRANSITION WHERE THE CURB RAMPS CONNECT TO THE STREET.
 14. THE CHANGE OF GRADE BETWEEN ADJACENT SURFACES SHALL BE LESS THAN 11%. THE CHANGE OF GRADE SHALL BE DEFINED AS THE ALGEBRAIC DIFFERENCE OF THE ADJACENT SURFACE SLOPES. IN THE CASE OF A STREET ACCESS RAMP DESIGNED AT THE 8.33% MAXIMUM SLOPE, THE ADJACENT PAVEMENT CROSS SLOPE SHALL BE LESS THAN 2.07% (I.E. 8.33-(2.67)=5.66). IN ADDITION, THE ADJACENT PAVEMENT CROSS SLOPE SHALL BE LESS THAN OR EQUAL TO 5%.
 15. IF THE CHANGE OF GRADE BETWEEN ADJACENT SURFACES IS GREATER THAN OR EQUAL TO 11%, A LEVELING STRIP, 2 FEET IN LENGTH, SHALL BE PROVIDED TO TRANSITION THE ADJACENT SURFACES.
 16. ADA RAMP SHALL BE CONSTRUCTED WITH 5' CLASS "A" CONCRETE WITH 2" MINIMUM GRAVEL, CRUSHED ROCK OR FLEXIBLE BASE MATERIAL. REINFORCING STEEL SHALL BE #3 BARS AT 18" O.C.E.W. OR 6"x6" x W2.9 x W2.9 WIRE MESH.
 17. THE EXTENTS OF ADA COMPLIANCE IN ALTERATIONS SHALL BE WITHIN THE LIMITS, BOUNDARIES OR SCOPE OF A PLANNED PROJECT AND AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- ### DETECTABLE WARNING NOTES
1. CURB RAMPS OR LANDINGS ABUTTING THE CROSSWALK MUST HAVE A DETECTABLE WARNING SURFACE THAT CONSISTS OF BASED TRUNCATED DOMES COMPLYING WITH SECTION 705 OF THE TEXAS ACCESSIBILITY STANDARDS (TAS). THE SURFACE MUST CONTRAST VISUALLY WITH ADJACENT SURFACES, INCLUDING SIDE FLARES, FINISHED DARK BROWN OR DARK RED DETECTABLE WARNING SURFACE ADJACENT TO UNCOLORED CONCRETE, UNLESS SPECIFIED ELSEWHERE IN THE PLANS.
 2. DETECTABLE WARNING SURFACES MUST BE SLIP RESISTANT AND NOT ALLOW WATER TO ACCUMULATE.
 3. ALIGN TRUNCATED DOMES IN THE DIRECTION OF PEDESTRIAN TRAVEL WHEN ENTERING THE STREET.
 4. DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 24" IN DEPTH IN THE DIRECTION OF PEDESTRIAN TRAVEL, AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR LANDING WHERE THE PEDESTRIAN ACCESS ROUTE ENTERS THE STREET.
 5. DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS AT THE BACK OF CURB. ALIGN THE ROWS OF DOMES TO BE PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP RUN AND THE STREET. DETECTABLE WARNING SURFACES MAY BE CURVED ALONG THE CORNER RADII.
 6. DETECTABLE WARNING MATERIALS MUST MEET TxDOT DEPARTMENTAL MATERIALS SPECIFICATION DMS 4350 AND BE LISTED ON THE MATERIAL PRODUCER LIST. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 7. DETECTABLE WARNING PAVERS SHALL NOT BE PERMITTED WITHOUT THE APPROVAL BY THE PUBLIC WORKS DEPARTMENT.



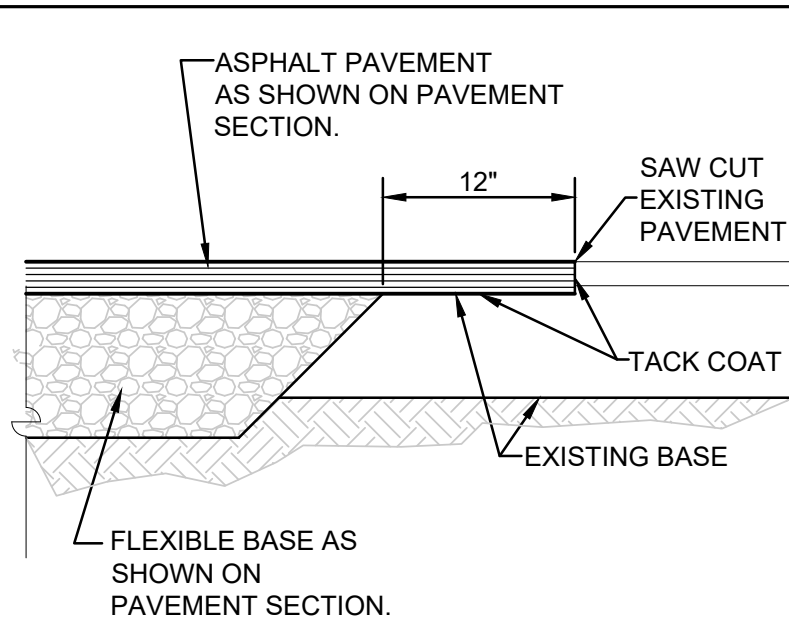
SPILL CURB DETAIL

NOT TO SCALE



NEW PAVEMENT TO EXISTING

NOT TO SCALE



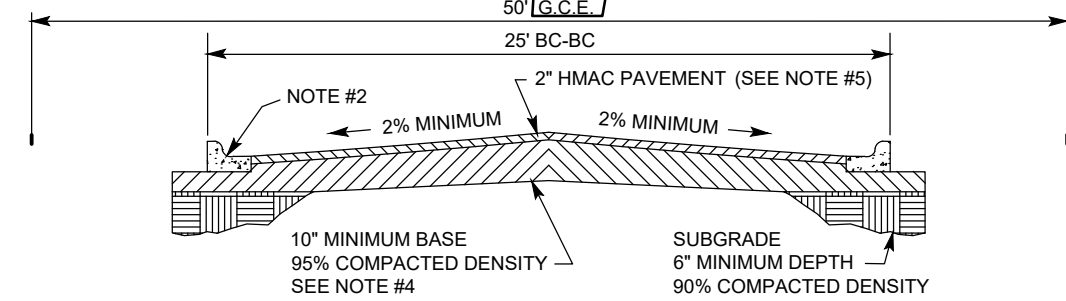
TYPICAL PAVEMENT SECTION

FLEXIBLE PAVEMENTS	
PAVEMENT MATERIAL	
TYPE "D" HMA	2"
AGGREGATE BASE (TXDOT ITEM 247, GRADE 1, TYPE A)	10"
COMPACTED SUBGRADE	6"

NOTES:

1. ALL PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE TO THE "SUBGRADE VERIFICATION AND PAVEMENT RECOMMENDATIONS THE RESERVE AT GRUENE VILLAGE", BY TERRADYNE OF AUSTIN, DATED NOVEMBER 20, 2019.
2. ALL PAVEMENT SECTIONS SHOWN ON THE ABOVE TABLE SHALL SUPERCEDE ANY STANDARD DETAILS WITH RESPECT TO DEPTH OF MATERIALS ASSOCIATED WITH THIS PROJECT.
3. THE SUBGRADE SOILS SHOULD BE TESTED FOR SOLUBLE SULPHATE CONTENT PRIOR TO INSTALLATION OF THE LIME.

LOCAL RESIDENTIAL (25') (REST OF STREETS, PRIVATE DRIVES)



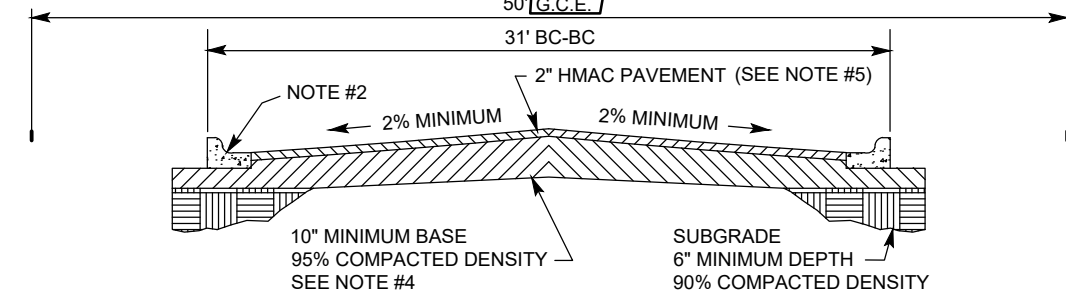
NOTES:

1. BASE SHALL EXTEND 1' BACK OF CURB, 5-12" MINIMUM THICKNESS.
2. SEE CURB DETAIL, ST-019.
3. ROADWAY MEASUREMENT SHOWN FROM BACK OF CURB (BC).
4. FLEXIBLE BASE MATERIAL SHALL BE TYPE "A" GRADE 1 PER TxDOT STD.
5. ASPHALT CONCRETE PAVEMENT SHALL BE TYPE "D" HOT MIX PER TxDOT STD.
6. STRUCTURAL SECTION SHOWN IS BASED ON A CRASH VALUE OF 5. THE FOLLOWING ALTERNATIVE SECTIONS MAY BE APPROVED IF EQUIPPED WITH ENGINEERING ANALYSIS BASED ON OBJECT TESTS:
 - 6.1 10" MINIMUM BASE, CRUSHED ROCK OR FLEXIBLE BASE MATERIAL, REINFORCING STEEL, 18" O.C.E.W. OR 6"x6" x W2.9 x W2.9 WIRE MESH.
 - 6.2 10" MINIMUM BASE, CRUSHED ROCK OR FLEXIBLE BASE MATERIAL, REINFORCING STEEL, 18" O.C.E.W. OR 6"x6" x W2.9 x W2.9 WIRE MESH.
 - 6.3 10" MINIMUM BASE, CRUSHED ROCK OR FLEXIBLE BASE MATERIAL, REINFORCING STEEL, 18" O.C.E.W. OR 6"x6" x W2.9 x W2.9 WIRE MESH.
7. BASE MUST EXTEND 1' BEYOND BACK OF CURB, 6" MINIMUM THICKNESS.

ALL PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE TO THE "SUBGRADE VERIFICATION AND PAVEMENT RECOMMENDATIONS THE RESERVE AT GRUENE VILLAGE", BY TERRADYNE OF AUSTIN, DATED NOVEMBER 20, 2019.

APPROVED DATE: DWG. NO. SCALE: N.T.S.
DRAWN BY: RAS SHEET: 1 OF 1
FILENAME: ST-007 RESIDENTIAL (1)
U:\ENGINEERING\SEWELLY\DOCUMENTS\BIB CITY DETAILS AND SECTIONS\DWG

LOCAL RESIDENTIAL (31') (EASY GRUENE, PRIVATE DRIVE)



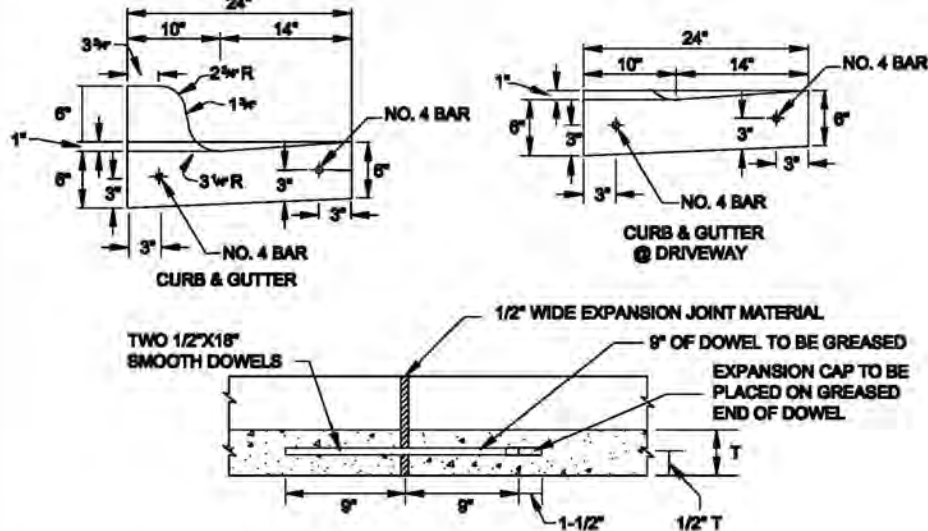
NOTES:

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2. SEE CURB DETAIL, ST-019.
3. ROADWAY MEASUREMENT SHOWN FROM BACK OF CURB (BC).
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7. BASE MUST EXTEND 1' BEYOND BACK OF CURB, 6" MINIMUM THICKNESS.

ALL PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE TO THE "SUBGRADE VERIFICATION AND PAVEMENT RECOMMENDATIONS THE RESERVE AT GRUENE VILLAGE", BY TERRADYNE OF AUSTIN, DATED NOVEMBER 20, 2019.

APPROVED DATE: DWG. NO. SCALE: N.T.S.
DRAWN BY: RAS SHEET: 1 OF 1
FILENAME: ST-007 RESIDENTIAL (1)
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CURB AND GUTTER



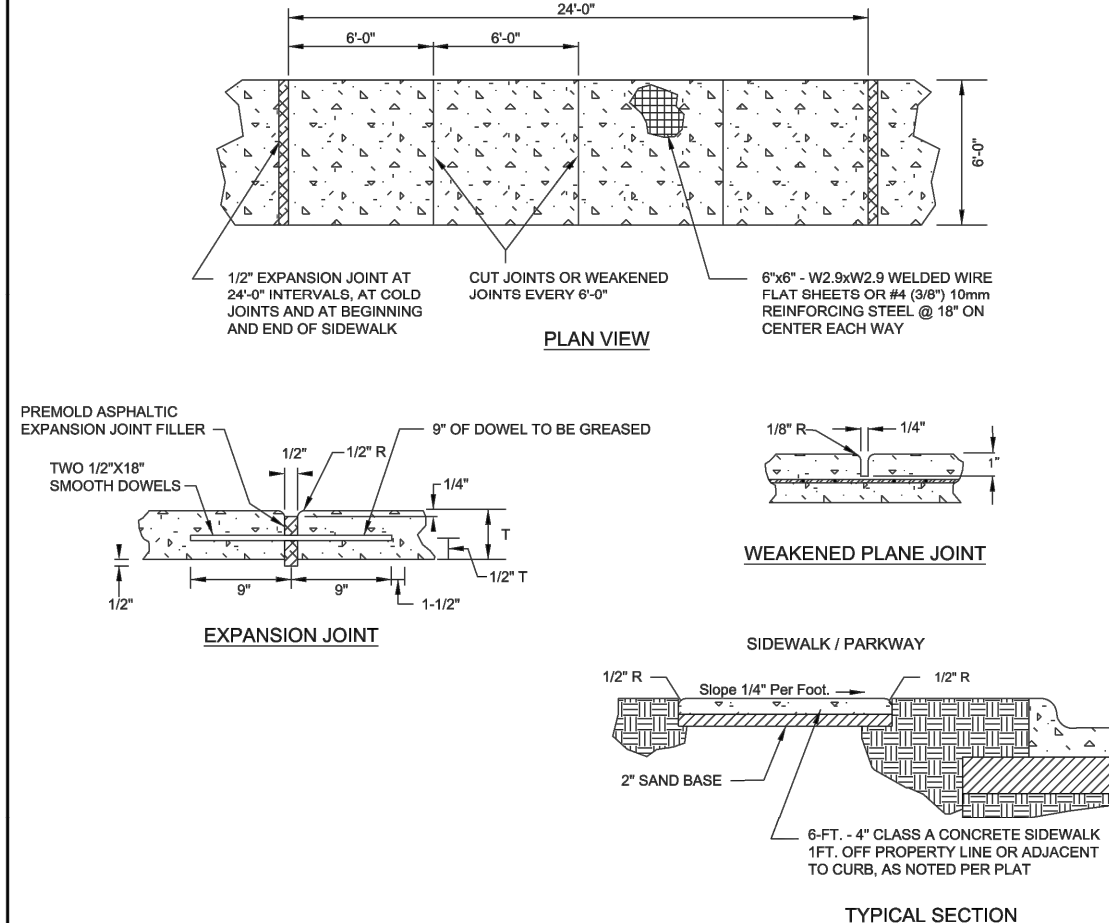
LONGITUDINAL SECTION THRU CURB AND GUTTER SHOWING TYPICAL EXPANSION JOINT DETAILS. REINFORCING STEEL SHALL NOT CROSS EXPANSION JOINTS. STEEL SHALL BE TERMINATED 3" (+ OR -) 1" FROM FACE OF THE JOINT.

NOTES:

1. REINFORCING BARS SHALL BE LAPPED A MINIMUM OF 18".
2. CURB AND GUTTER SHALL HAVE FORMED TOOLS ON SAVED CONTRACTION JOINTS AT ± 10". THE DEPTH OF THESE JOINTS SHALL BE SUFFICIENT TO ENSURE CRACKING AT THE JOINTS.
3. CURB ON CURB AND GUTTER SHALL HAVE EXPANSION JOINTS AT POINTS OF CURVATURE, AT INTERVALS NO GREATER THAN 100' AND AT ALL ADJACENT STRUCTURES.
4. UNLESS OTHERWISE SHOWN, TRANSITIONS BETWEEN CURBS OR CURBS AND GUTTER OF DIFFERING CROSS SECTION SHALL BE ACCOMPLISHED OVER A 10' LENGTH OR AS APPROVED BY THE CITY ENGINEER.
5. ALL CONCRETE TO BE CLASS "A" 3000 PSI CONCRETE.
6. ALL EXPOSED CONCRETE SURFACES TO BE BRUSHED SMOOTH AND UNIFORM.

DATE APPROVED: 7/08 DWG. NO. ST-013 SCALE: N.T.S.
DRAWN BY: RAS SHEET: 1 OF 1
FILENAME: CURB & GUTTER
PROJECT: NEW BRAUNFELS DETAIL/SECTION

SIDEWALK (COMMERCIAL - INDUSTRIAL)



NOTES:

1. EXPANSION JOINTS ARE TO BE USED BETWEEN CONCRETE DRIVEWAY AND SIDEWALK.
2. SCORED JOINTS DENOTE SIDEWALK ACROSS THE DRIVEWAY AND ARE TO BE PLACED AT LEAST 1/3 IN. THROUGH THE SLAB THICKNESS.
3. ALL SIDEWALK AND DRIVEWAY CONSTRUCTION SHALL MEET A.D.A. SPECIFICATIONS.

DATE APPROVED: 07/2008 DWG. NO. ST-017 SCALE: N.T.S.
DRAWN BY: RAS SHEET: 1 OF 1
FILENAME: SIDEWALK (COMMERCIAL - INDUSTRIAL)
U:\ENGINEERING\SEWELLY\DOCUMENTS\BIB CITY DETAILS AND SECTIONS\DWG

STREET DETAILS (1 OF 2)

REVISION	DATE	DESCRIPTION
NO.		

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.: 170.004

SHEET
C5.11

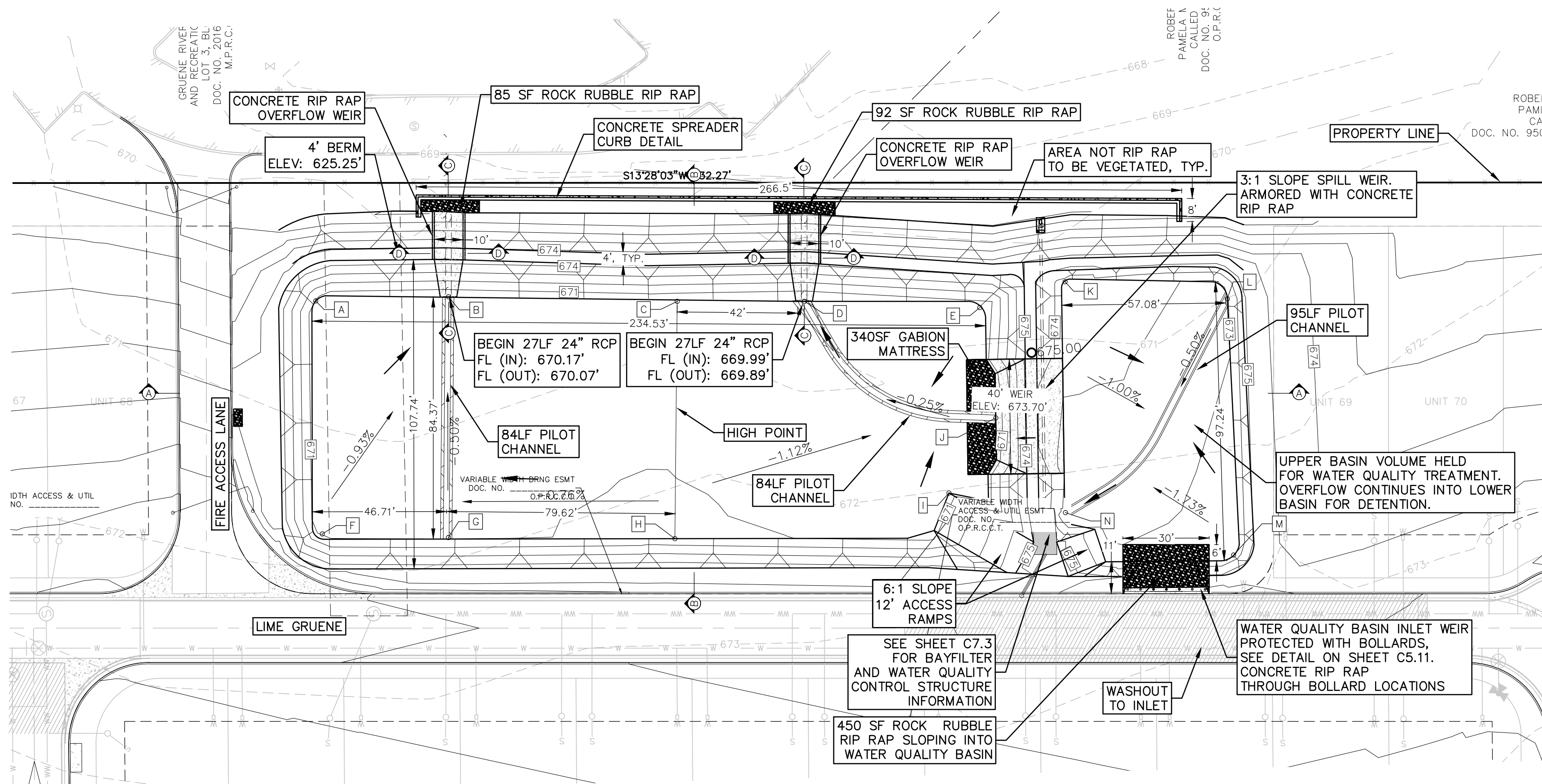
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Chris Van Heerde, P.E.

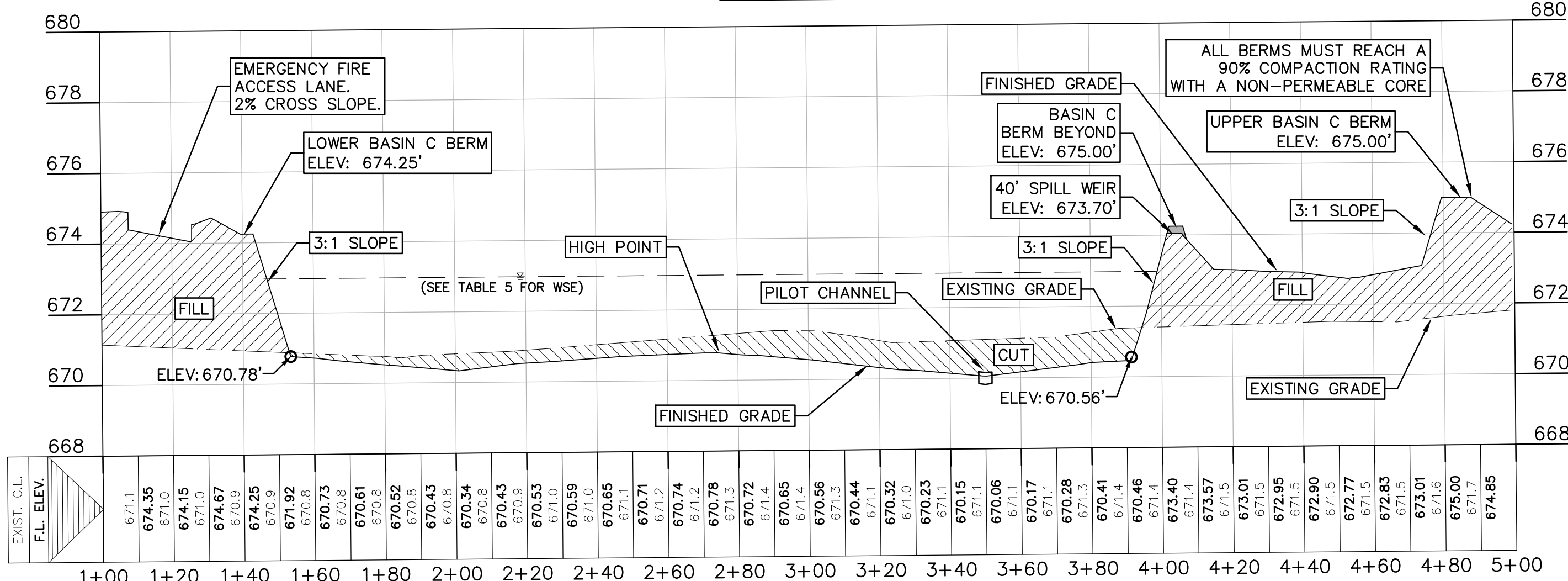
VILLAGE AT GRUENE
CONDOMINIUMS

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600





BASIN C SECTION A
1+00 - 5+00



BASIN C SECTION B
1+00 - 2+60

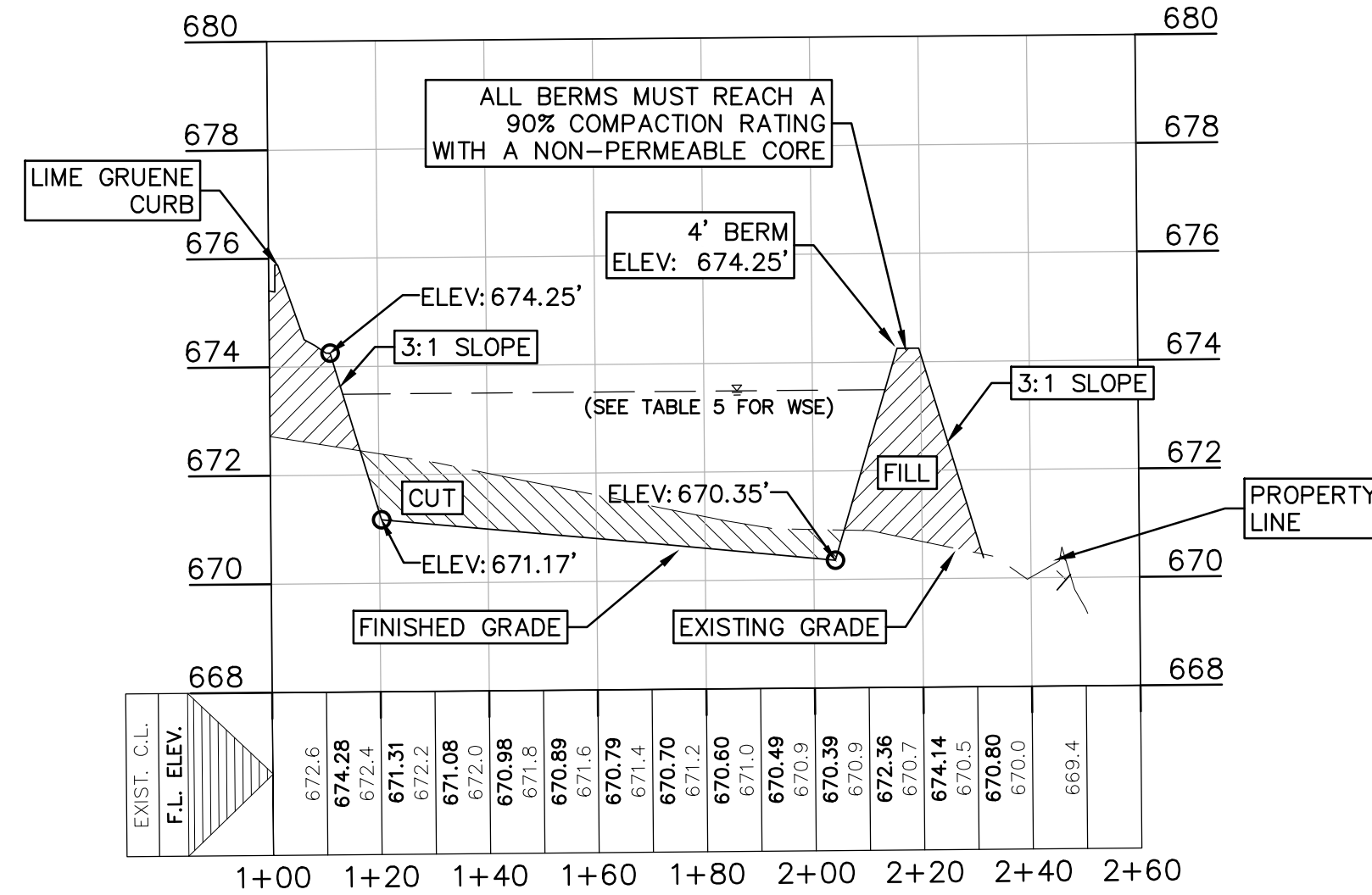
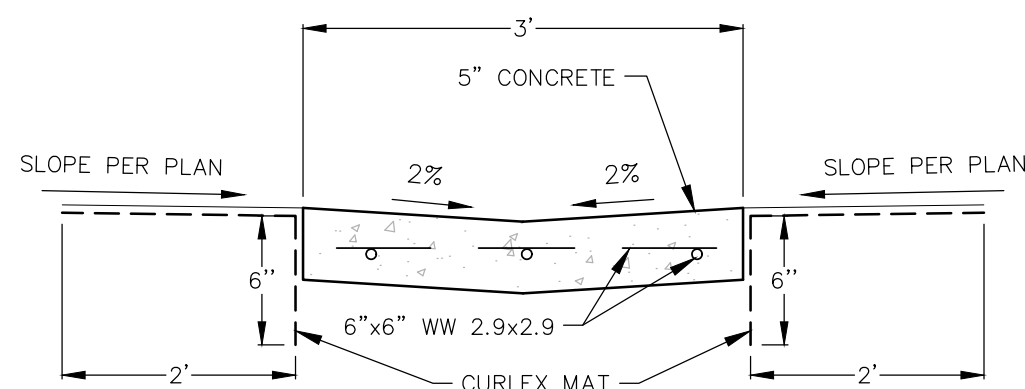
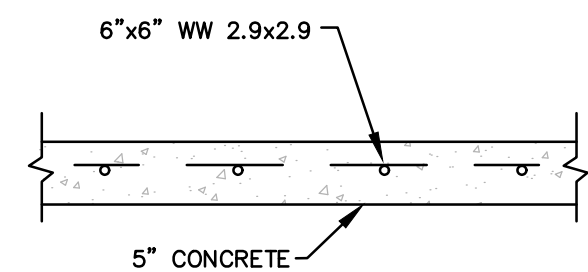


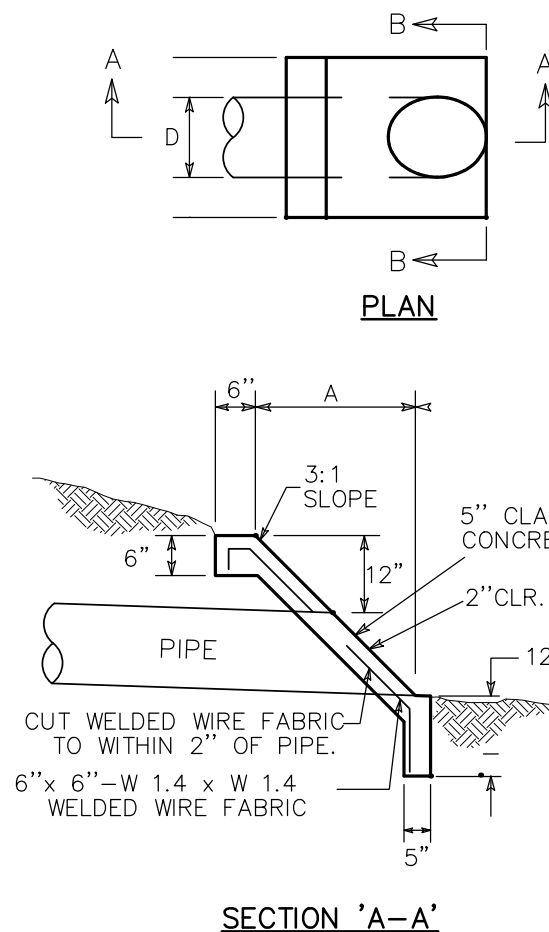
Table 5 - Detention Basin C Conditions				
Description	2 yr	10 yr	25 yr	100 yr
Outlet Velocity (ft/sec)	3.80	4.87	6.00	7.18
Water Surface Elevation (ft)	671.16	672.11	672.47	673.17
Water Depth (ft)	1.16	2.11	2.47	3.17
Time to Empty (min)	1744	1752	1754	1756
Maximum Storage Volume (ft³)	17,054	41,340	50,558	69,231



① PILOT CHANNEL
N.T.S.



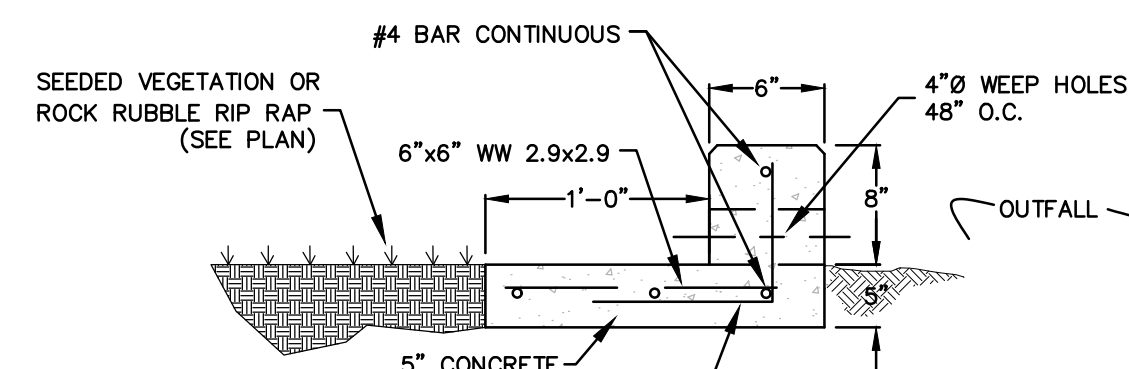
② CONCRETE RIP-RAP
N.T.S.



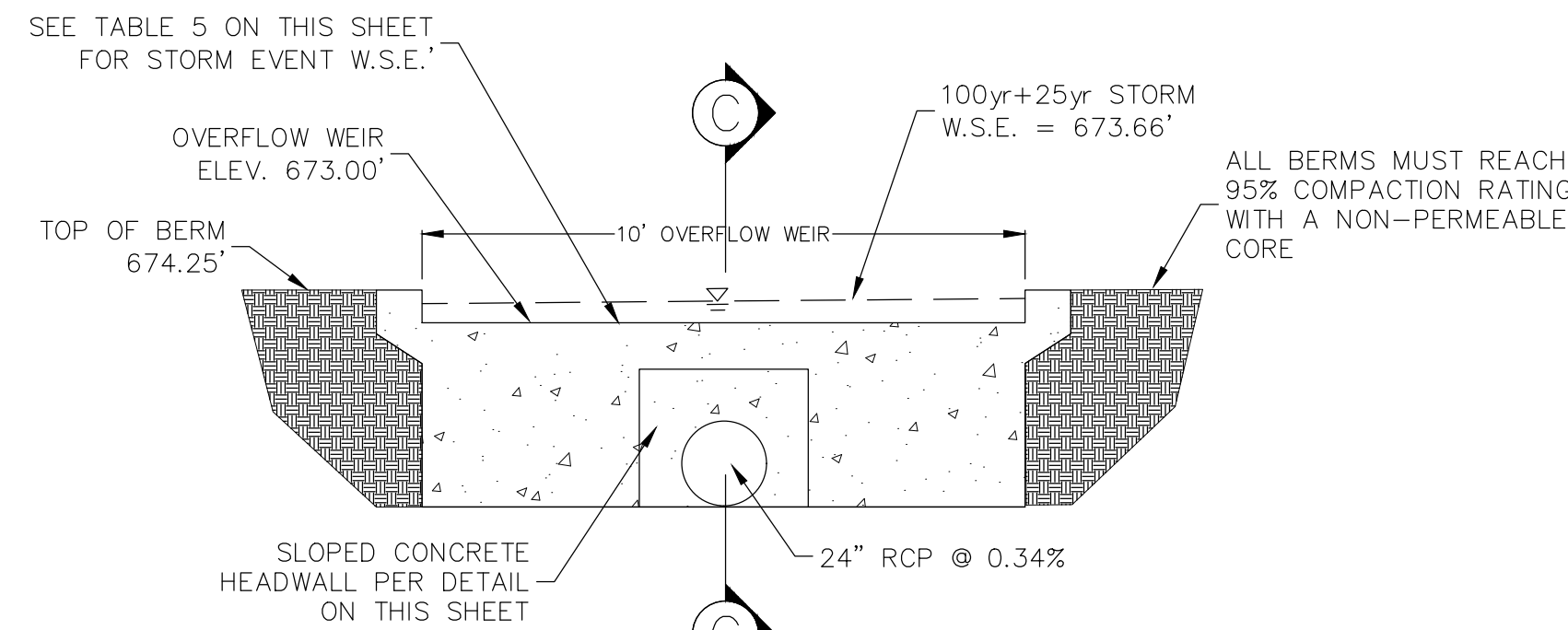
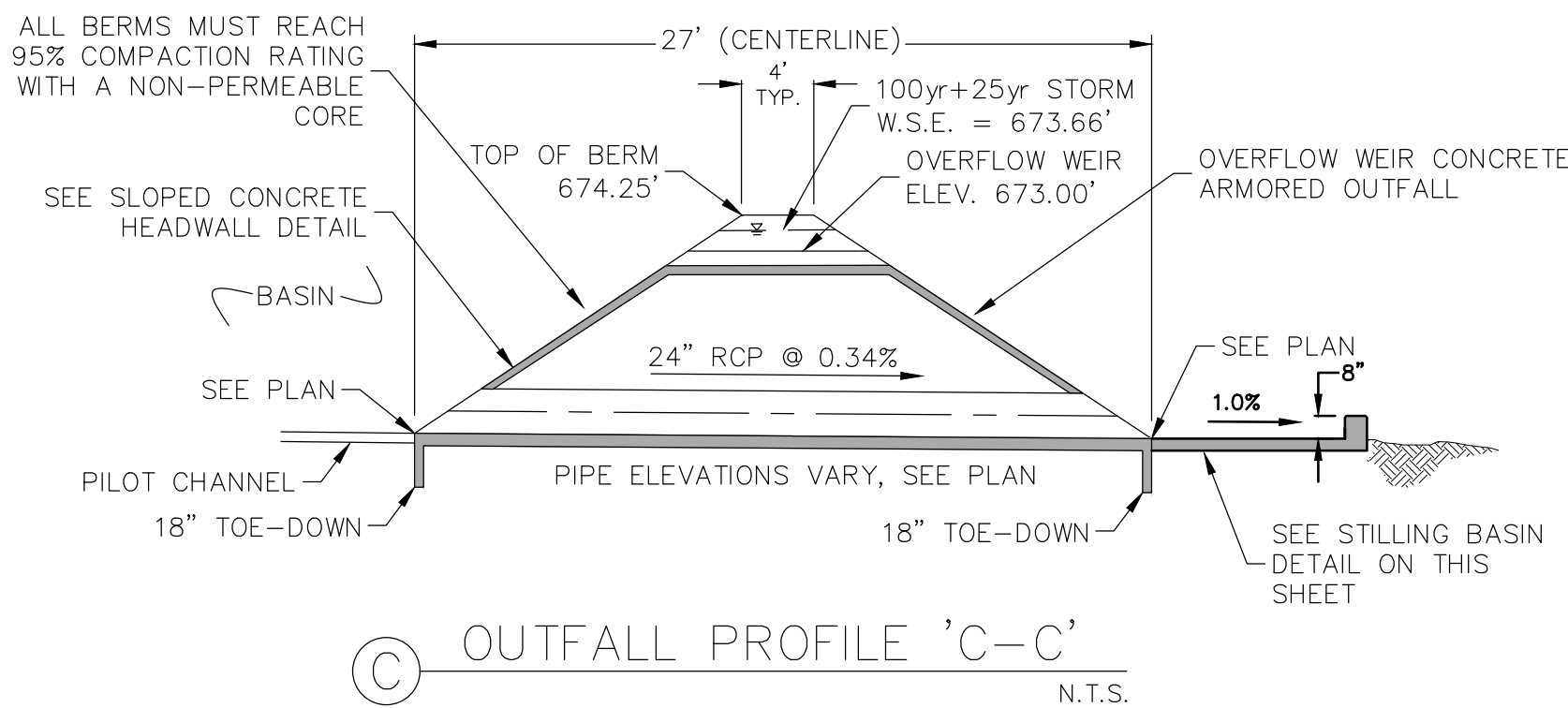
③ SLOPED CONCRETE HEADWALL
N.T.S.

D	18"	24"	30"	36"	42"
A	7.5'	9.0'	10.5'	12.0'	13.5'
B	5.0'	5.0'	5.0'	5.0'	5.0'

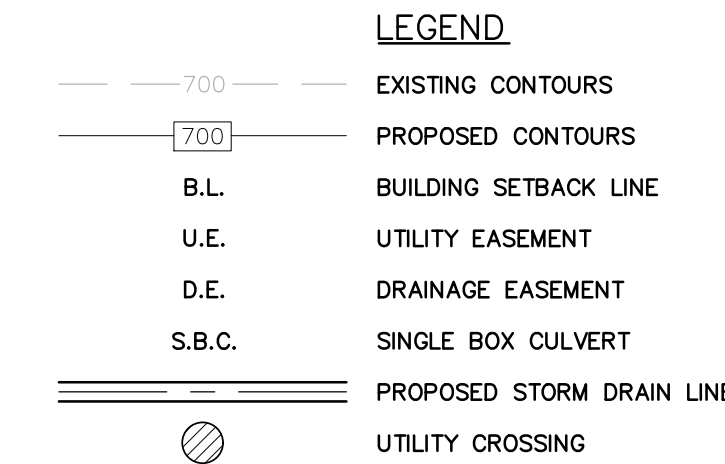
DIMENSIONS



④ STILLING BASIN DETAIL
N.T.S.



OUTFALL SECTION 'D-D'
N.T.S.



BASIN C POINT COORDINATE LIST			
POINT	NORTHING	EASTING	ELEVATION (FT)
A	13816456.70	2250059.03	670.93
B	13816411.43	2250049.65	670.17
C	13816334.37	2250029.54	670.42
D	13816291.28	2250019.21	669.95
E	13816232.47	2250002.85	670.91
F	1386473.42	2249979.57	670.99
G	13816431.03	2249988.10	670.89
H	13816364.43	2249949.34	671.20
I	13816257.96	2249942.53	670.72
J	13816235.99	2249964.19	670.16
K	13816201.47	2250004.67	673.59
L	13816147.95	2249985.73	672.92
M	13816166.65	2249898.42	673.43
N	13816220.11	2249964.19	672.39

DETENTION BASIN MAINTENANCE
AND EQUIPMENT ACCESS REQUIREMENTS:

- SILT SHALL BE REMOVED AND THE BASIN RETURNED TO ORIGINAL LINES AND GRADES WHEN STANDING WATER CONDITIONS OCCUR OR THE BASIN STORAGE VOLUME IS REDUCED BY MORE THAN 10%.
- TO LIMIT EROSION, NO UNVEGETATED AREA SHALL EXCEED 10 SQ. FT. IN EXTENT.
- ACCUMULATED PAPER, TRASH, AND DEBRIS SHALL BE REMOVED EVERY 6 MONTHS OR AS NECESSARY TO MAINTAIN PROPER OPERATION.
- BASINS SHALL BE MOWED ANNUALLY BETWEEN THE MONTHS OF JUNE AND SEPTEMBER.
- CORRECTIVE MAINTENANCE IS REQUIRED ANY TIME A BASIN DOES NOT DRAIN COMPLETELY WITHIN 60 HOURS OR CESSATION OF INFLOW (IE: NO STANDING WATER IS ALLOWED).
- STRUCTURAL INTEGRITY OF BASINS SHALL BE MAINTAINED AT ALL TIMES.
- MAINTENANCE VEHICLE FOR POND ACCESS SHOULD BE A BOBCAT S175 SKID STEER LOADER OR VEHICLE OF EQUAL TO LESSER SIZE.

NOTE

CONTRACTOR TO VEGETATE BASIN AREA ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN. OF 80% VEGETATION PRIOR TO COMPLETION. GRASS MIX SHALL INCLUDE BERMUDA SEED IF WINTER RYE IS USED TO TEMPORARILY VEGETATE THROUGH COLDER MONTHS.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



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DETENTION BASIN C
GRADING PLAN
VILLAGE AT GRUENE
CONDOMINIUMS

REVISION	DATE	DESCRIPTION
NO.		

DATE: JUNE 2020

DRAWN BY: HLC

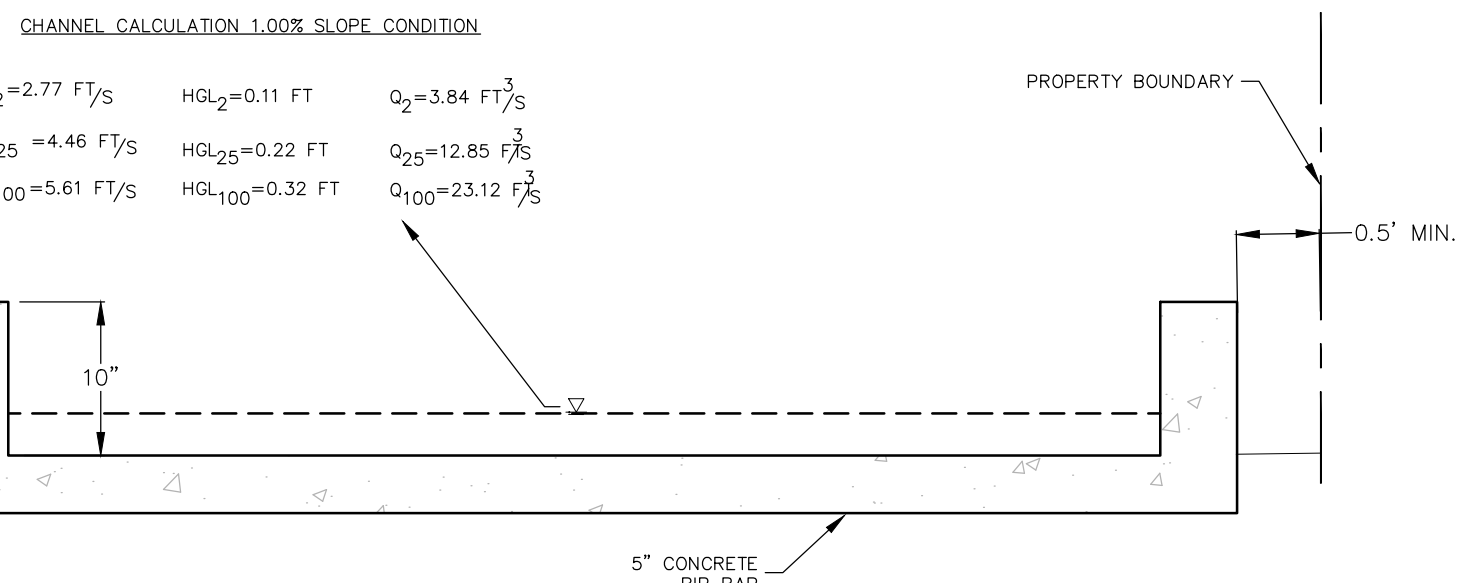
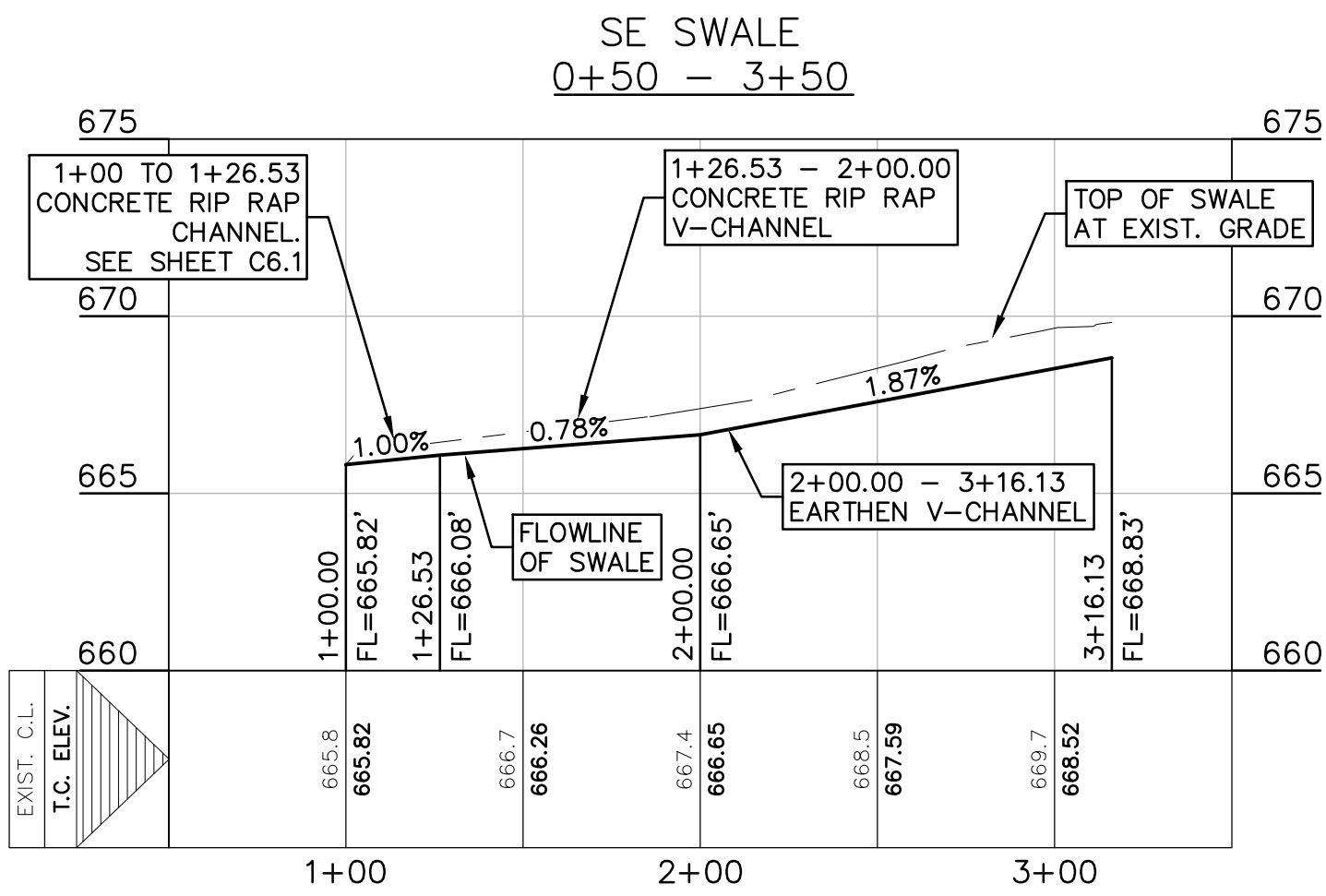
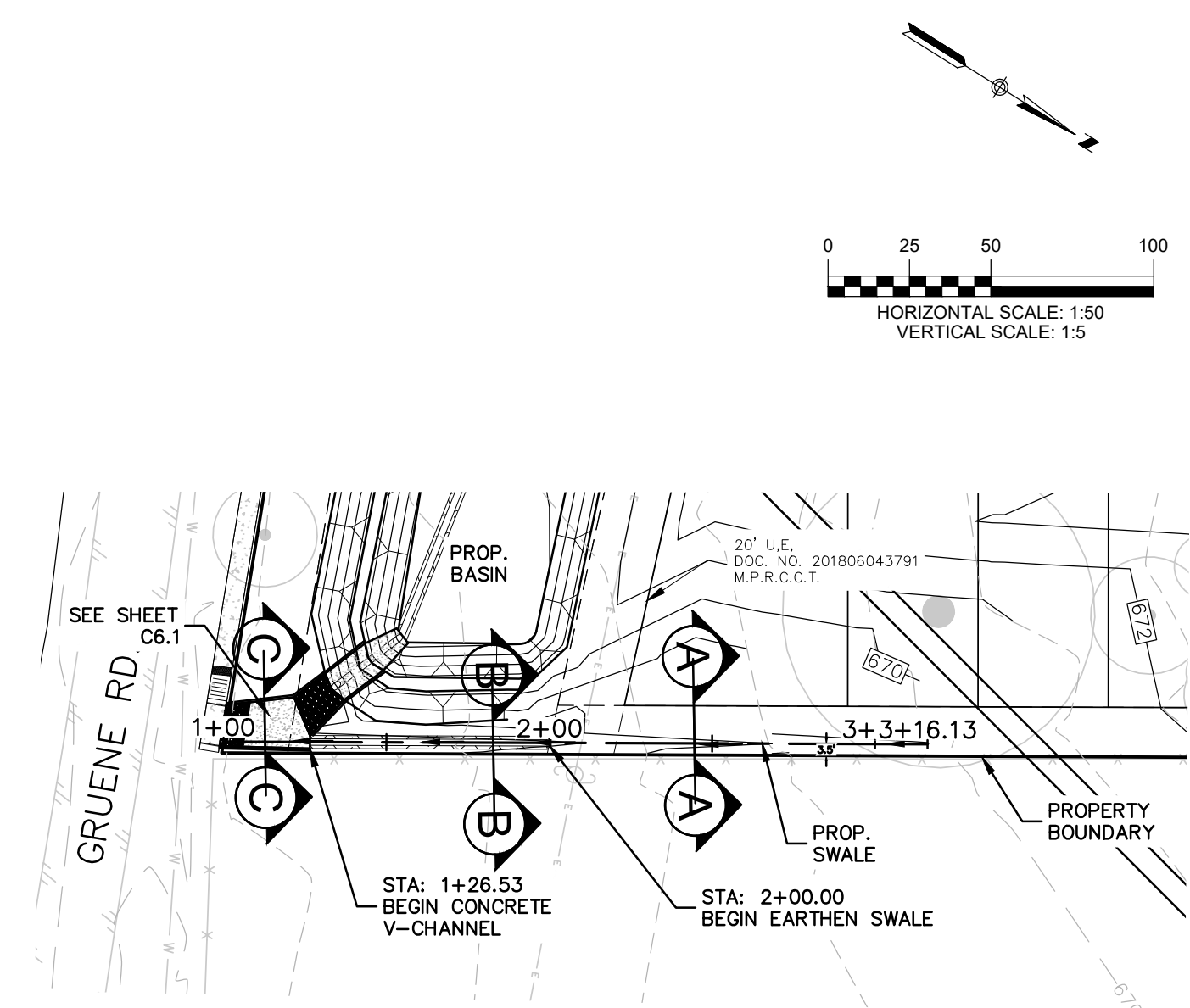
DESIGNED BY: HLC

REVIEWED BY: CVH

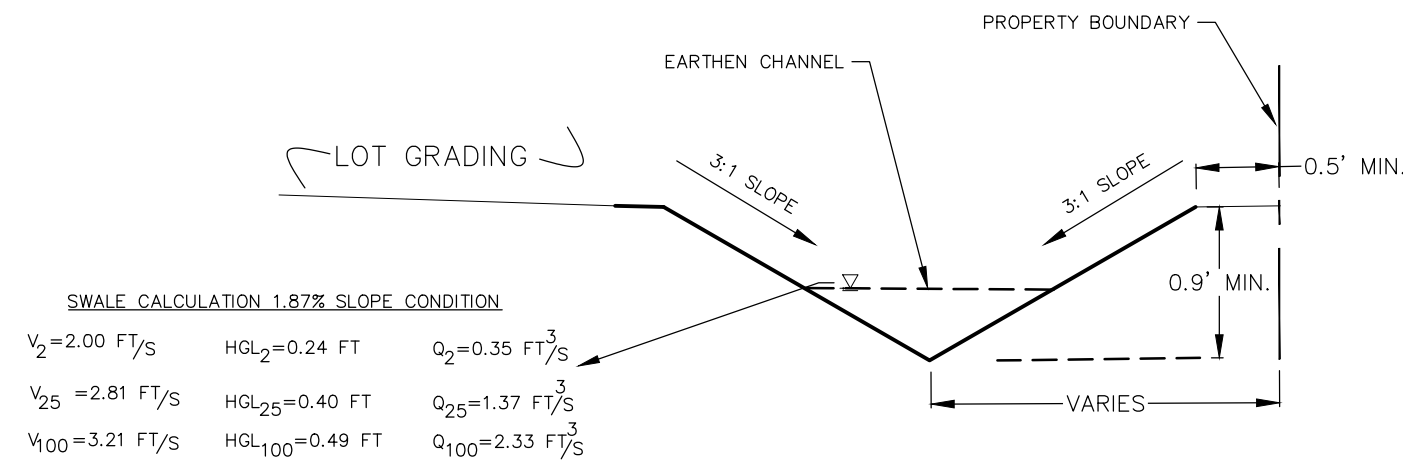
HMT PROJECT NO.: 170.004

SHEET
C6.2

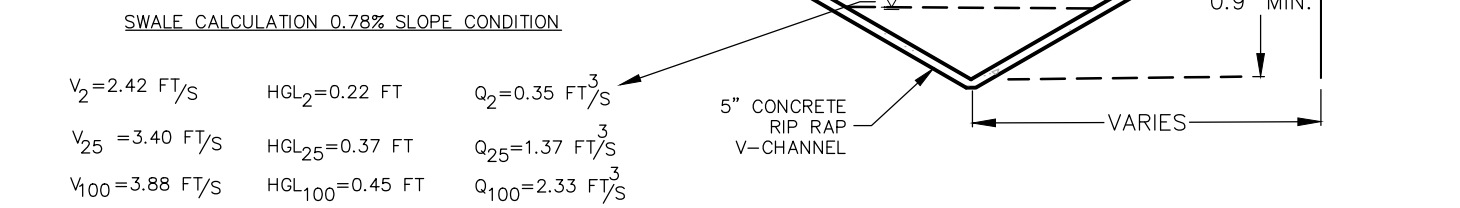
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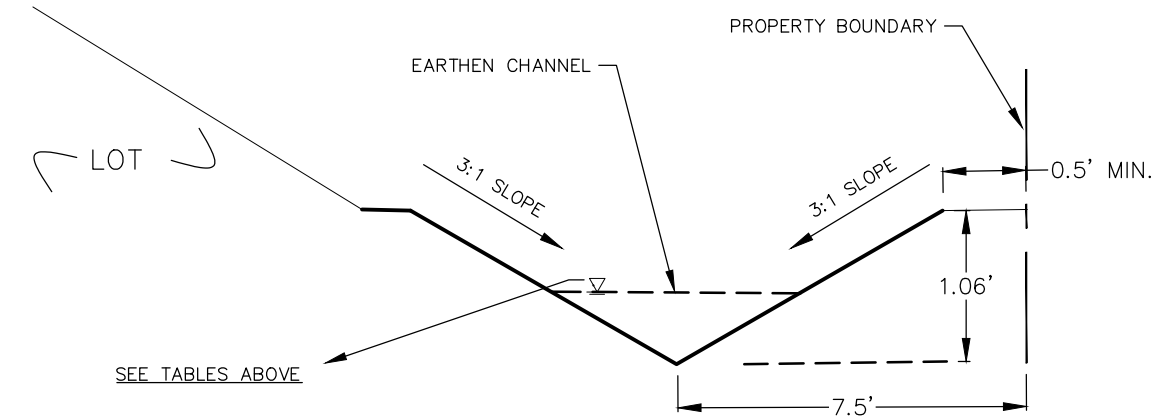
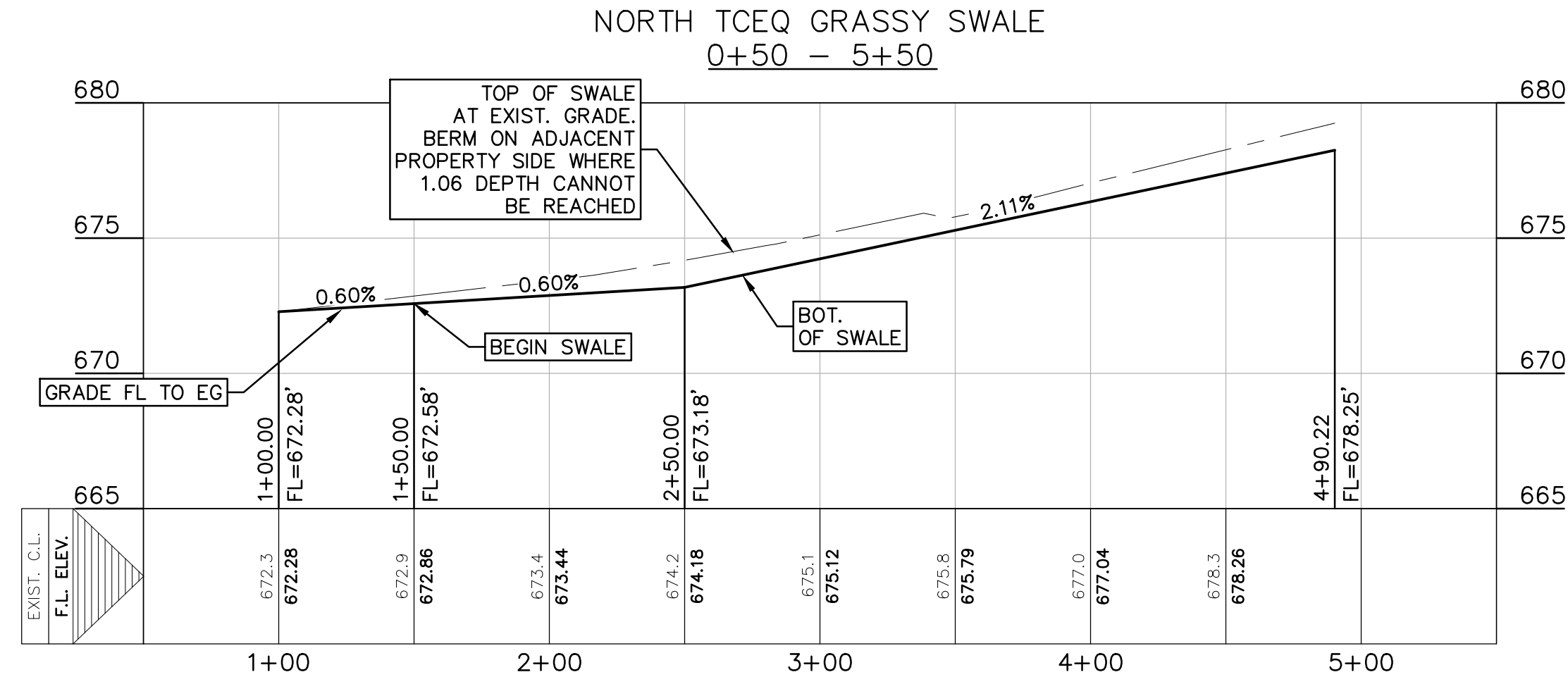
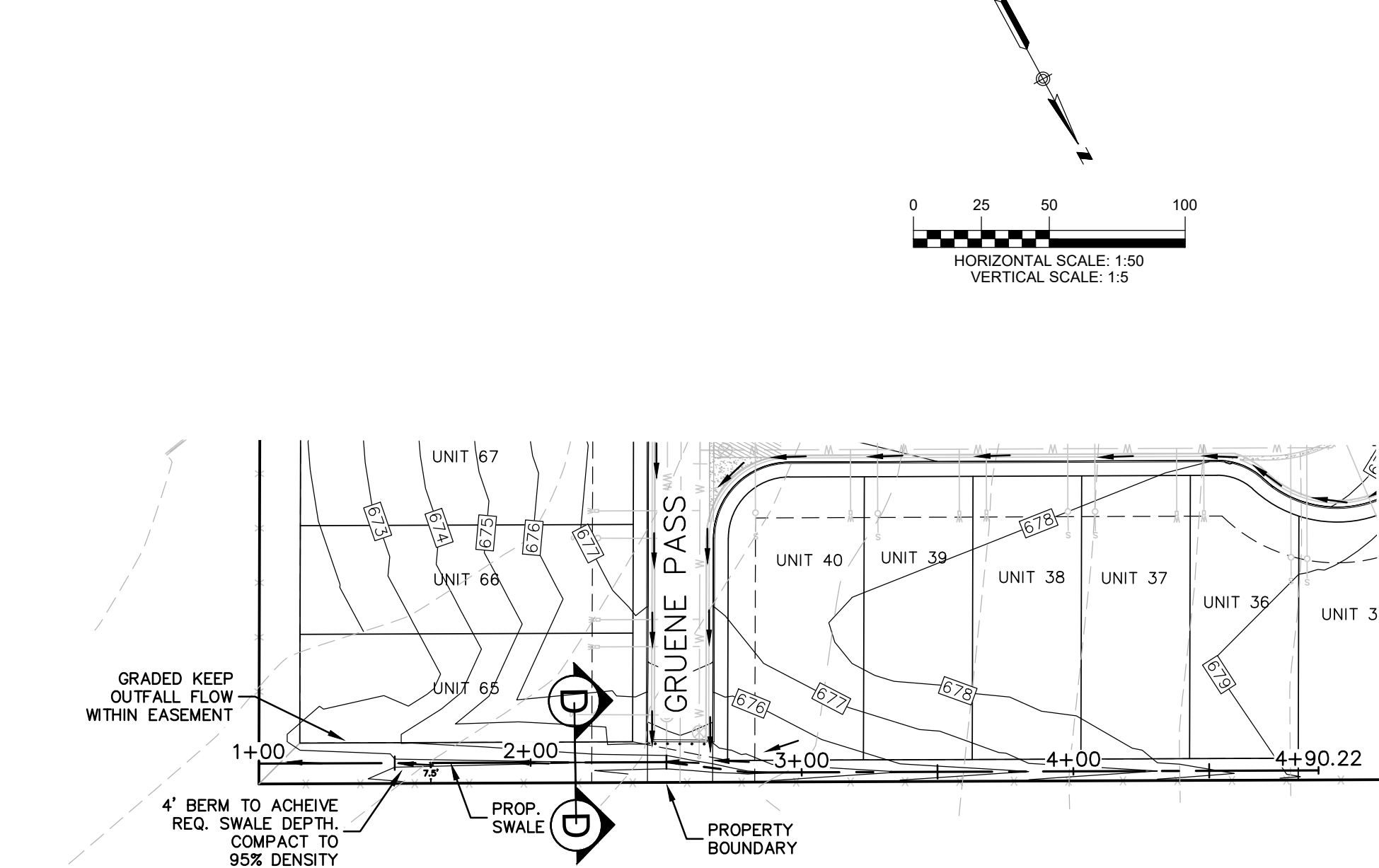
CONCRETE CHANNEL SECTION
N.T.S.



INTERCEPTOR SWALE SECTION
N.T.S.



INTERCEPTOR SWALE SECTION
N.T.S.



GRASSY SWALE SECTION
N.T.S.

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- LEGEND
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - FLOW ARROW
 - EXISTING GROUND TOP OF SWALE
 - PROPOSED BOTTOM OF SWALE

DETENTION BASIN MAINTENANCE
AND EQUIPMENT ACCESS REQUIREMENTS:

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SWALE PLAN AND PROFILES

VILLAGE AT GRUENE
CONDOMINIUMS

REVISION	DESCRIPTION	REVISION DATE
NO.		

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:

170.004

SHEET

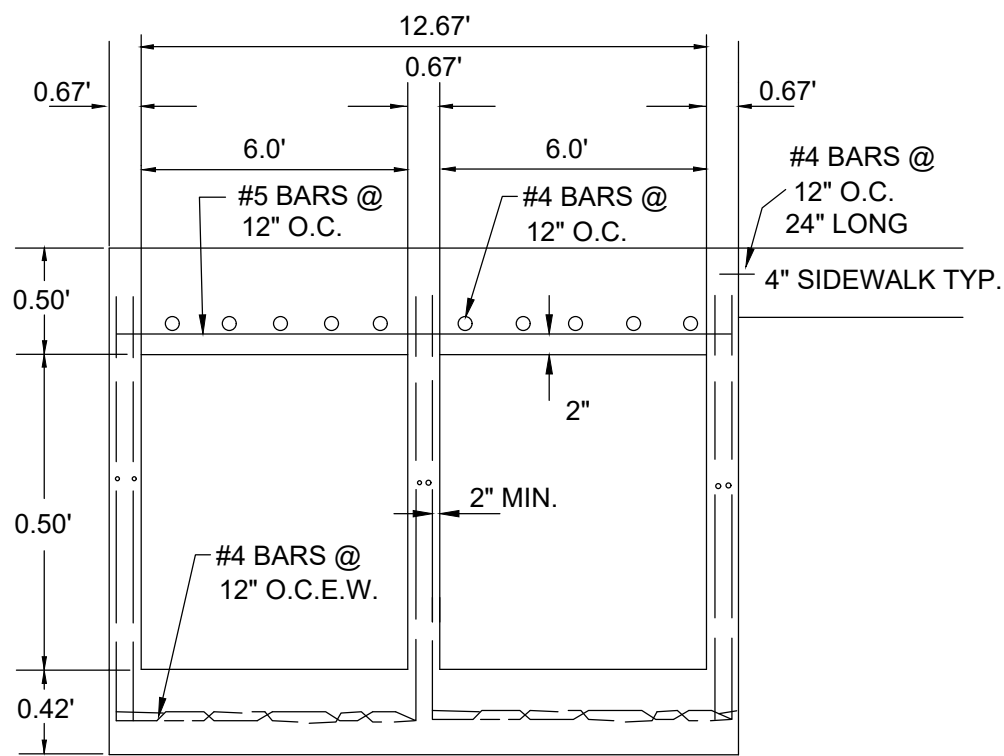
C6.3

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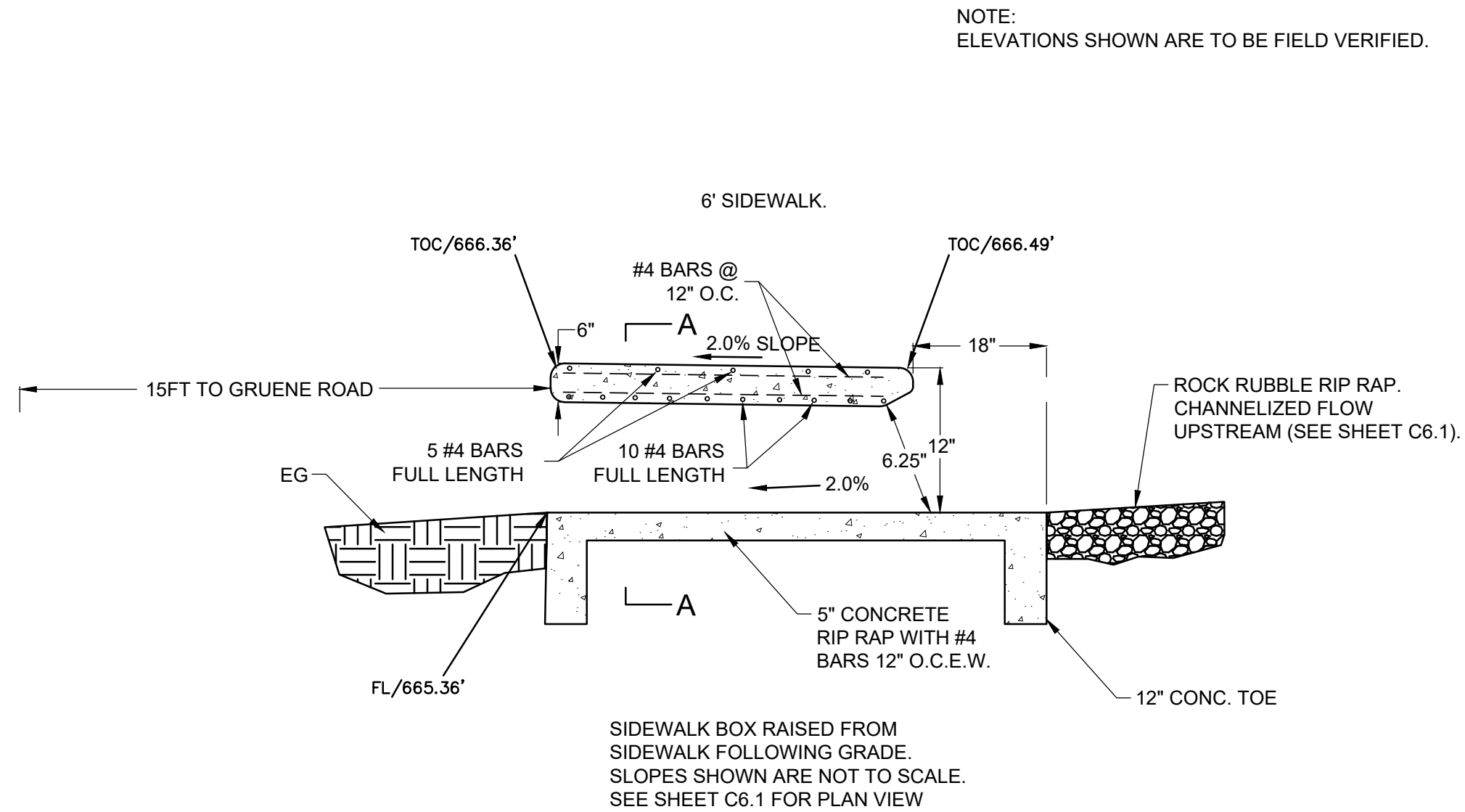
Chris Van Heerde, P.E.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING



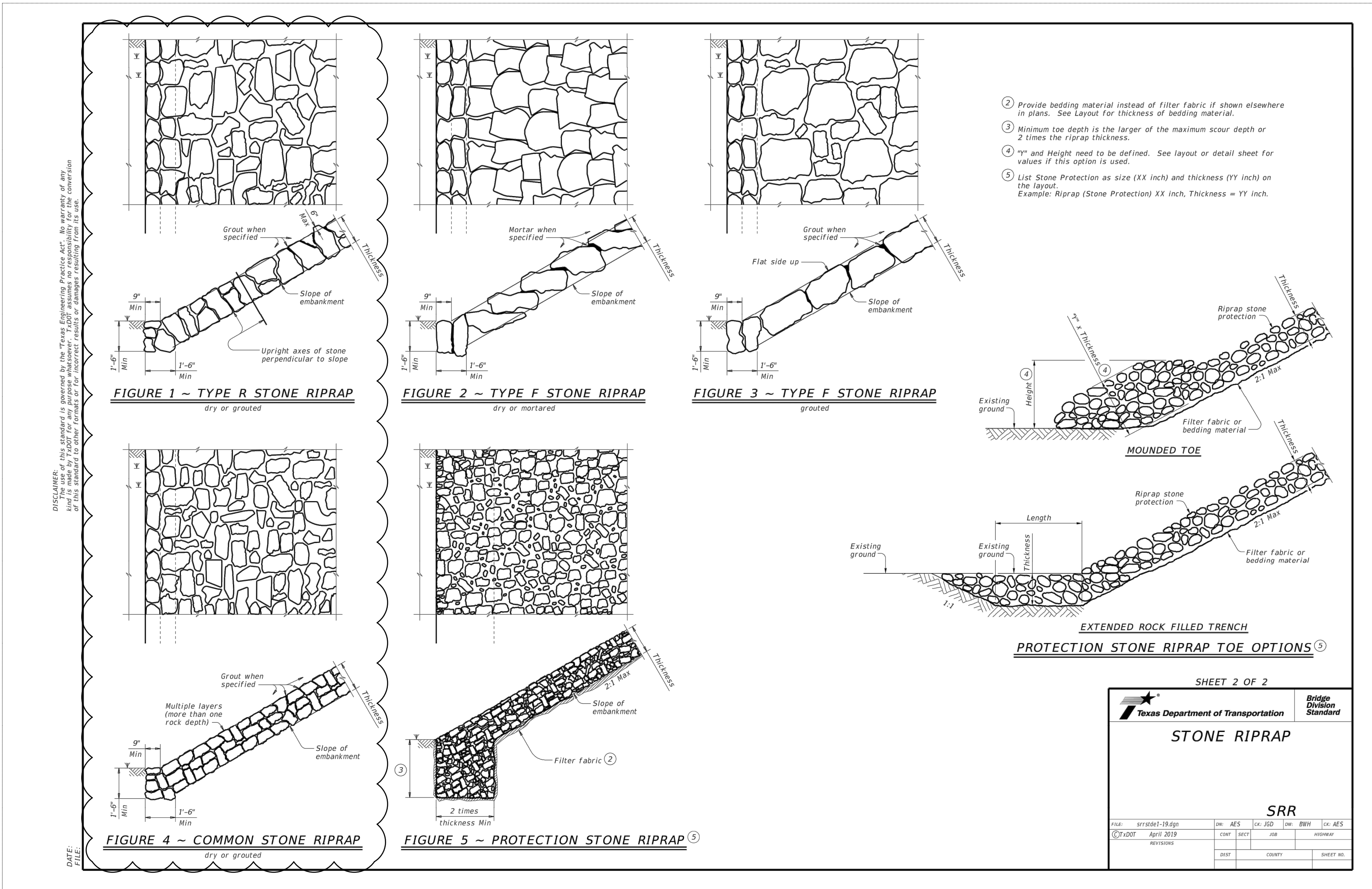
SECTION "A-A"



SIDE VIEW

12FT SIDEWALK BOX DETAIL

N.T.S.



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NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



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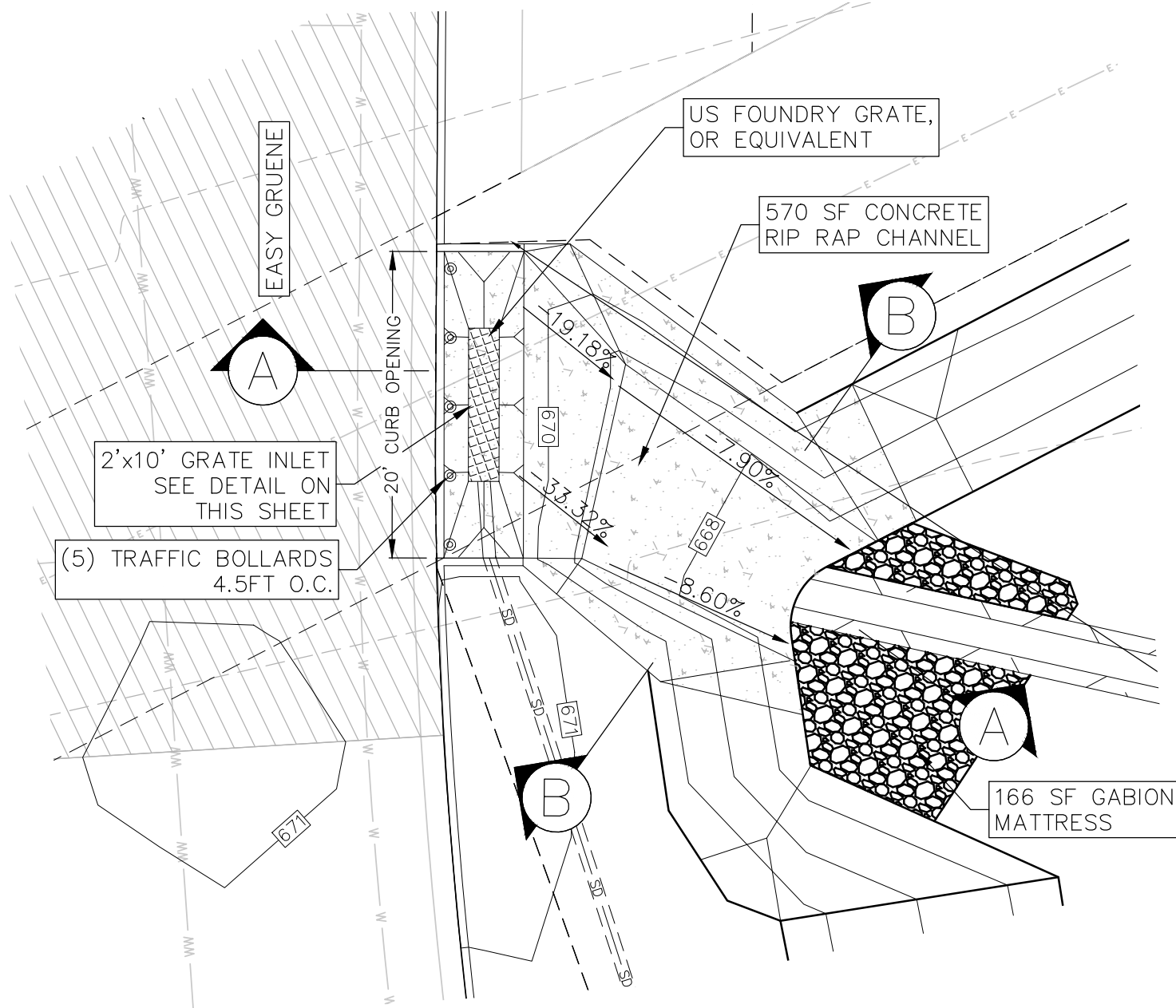
BASIN A OUTFALL
DETAILS
VILLAGE AT GRUENE
CONDOMINIUMS

REVISION	DESCRIPTION	REVISION DATE
NO.		

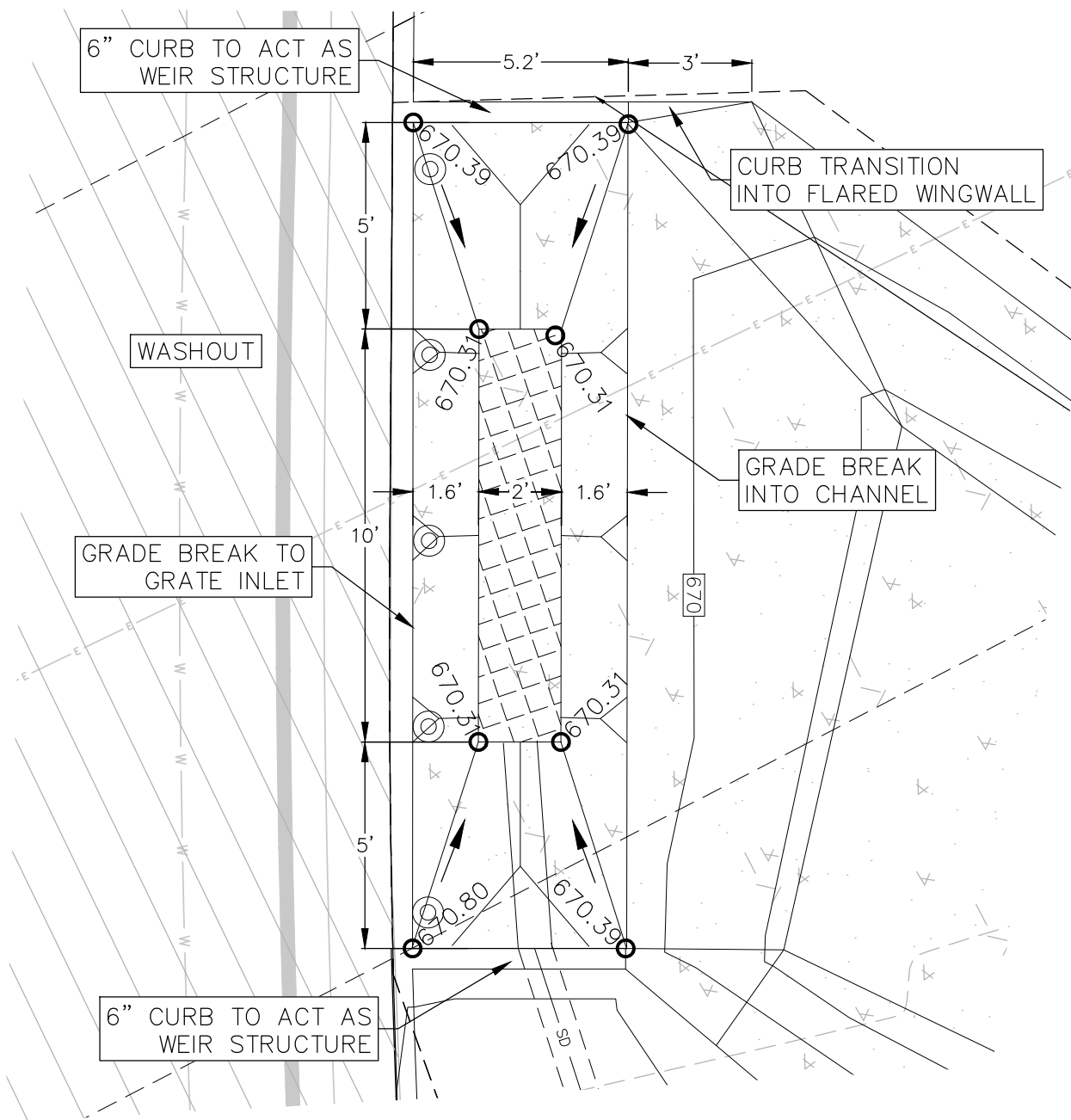
DATE:	JUNE 2020
DRAWN BY:	HLC
DESIGNED BY:	HLC
REVIEWED BY:	CWH
HMT PROJECT NO.:	170.004

SHEET
C6.4

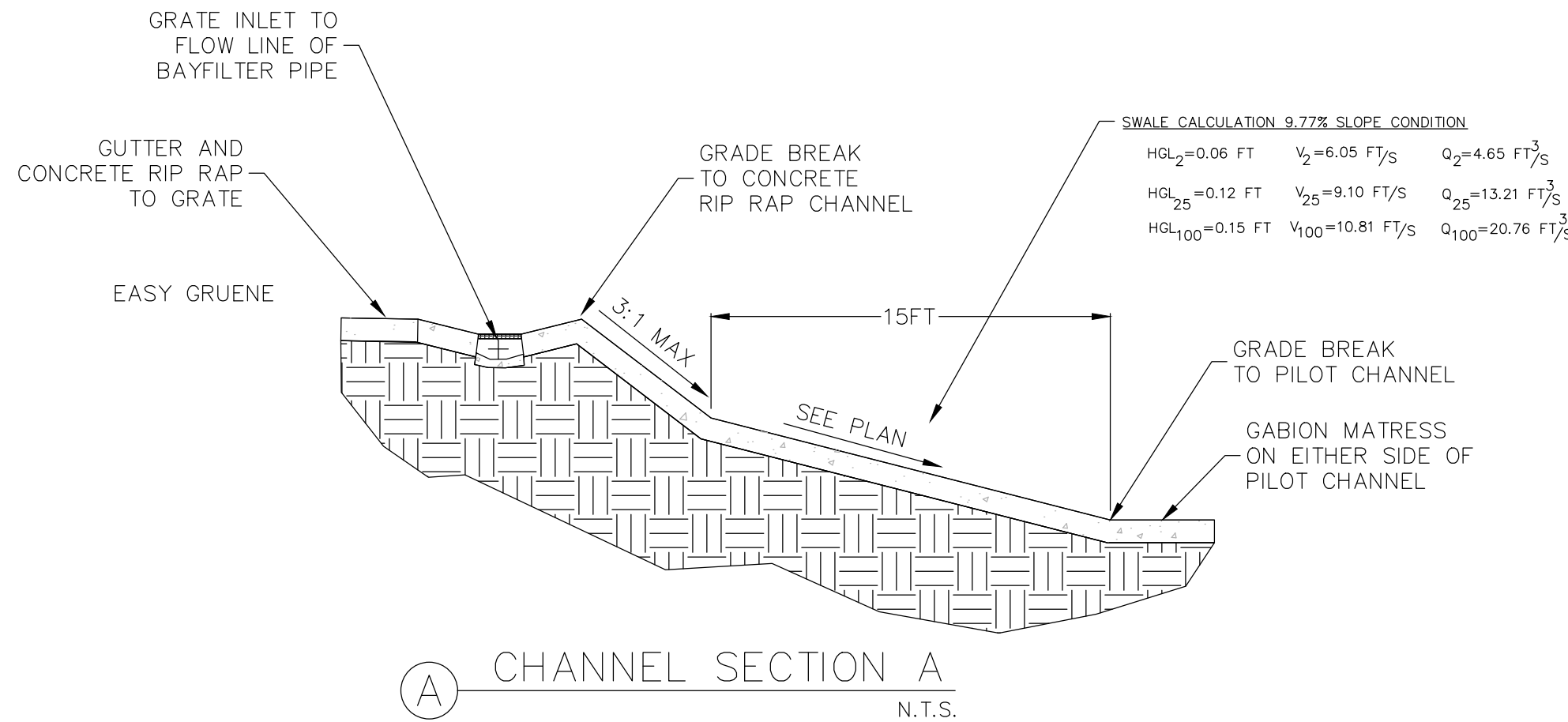
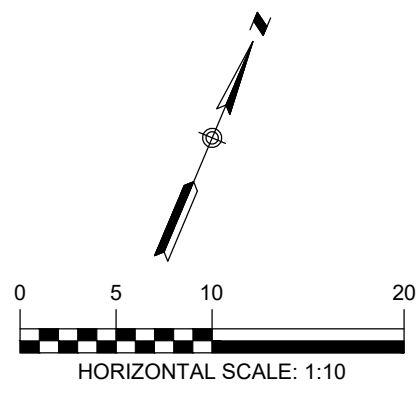
Drawing Name: N:_Projects\170 - James Tophet\170.004 - Village at Gruene Garden Homes\Draw\170.004_STIM.dwg User: hank-crippen Jun 03, 2020 - 5:14pm



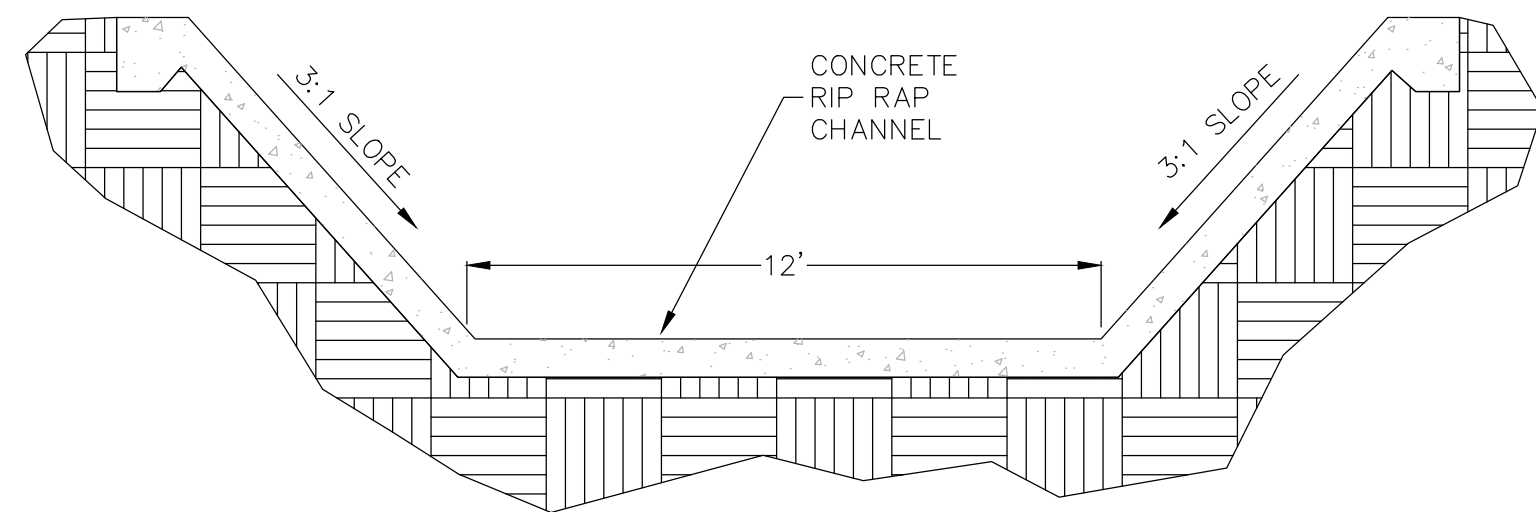
BASIN A CHANNEL DETAIL
SCALE 1:10



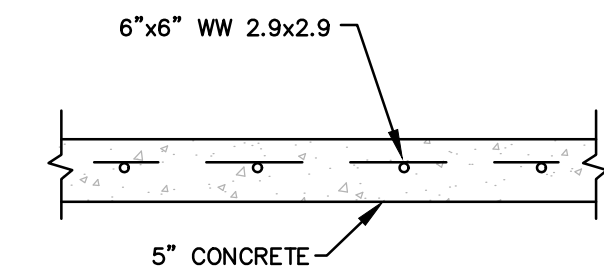
GRATE INLET DETAIL
SCALE 1:4



CHANNEL SECTION A
N.T.S.



CHANNEL SECTION B
N.T.S.



CONCRETE RIP-RAP
N.T.S.

LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	B.L. BUILDING SETBACK LINE
	U.E. UTILITY EASEMENT
	D.E. DRAINAGE EASEMENT
	S.B.C. SINGLE BOX CULVERT
	PROPOSED STORM DRAIN LINE
	UTILITY CROSSING

DETENTION BASIN MAINTENANCE
AND EQUIPMENT ACCESS REQUIREMENTS:

- SILT SHALL BE REMOVED AND THE BASIN RETURNED TO ORIGINAL LINES AND GRADES WHEN STANDING WATER CONDITIONS OCCUR OR THE BASIN STORAGE VOLUME IS REDUCED BY MORE THAN 10%.
- TO LIMIT EROSION, NO UNVEGETATED AREA SHALL EXCEED 10 SQ. FT. IN EXTENT.
- ACCUMULATED PAPER, TRASH, AND DEBRIS SHALL BE REMOVED EVERY 6 MONTHS OR AS NECESSARY TO MAINTAIN PROPER OPERATION.
- BASINS SHALL BE MOWED ANNUALLY BETWEEN THE MONTHS OF JUNE AND SEPTEMBER.
- CORRECTIVE MAINTENANCE IS REQUIRED ANY TIME A BASIN DOES NOT DRAIN COMPLETELY WITHIN 60 HOURS OR CESSATION OF INFLOW (IE: NO STANDING WATER IS ALLOWED).
- STRUCTURAL INTEGRITY OF BASINS SHALL BE MAINTAINED AT ALL TIMES.
- MAINTENANCE VEHICLE FOR POND ACCESS SHOULD BE A BOBCAT S175 SKID STEER LOADER OR VEHICLE OF EQUAL TO LESSER SIZE.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

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BASIN A CHANNEL
DETAIL
VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

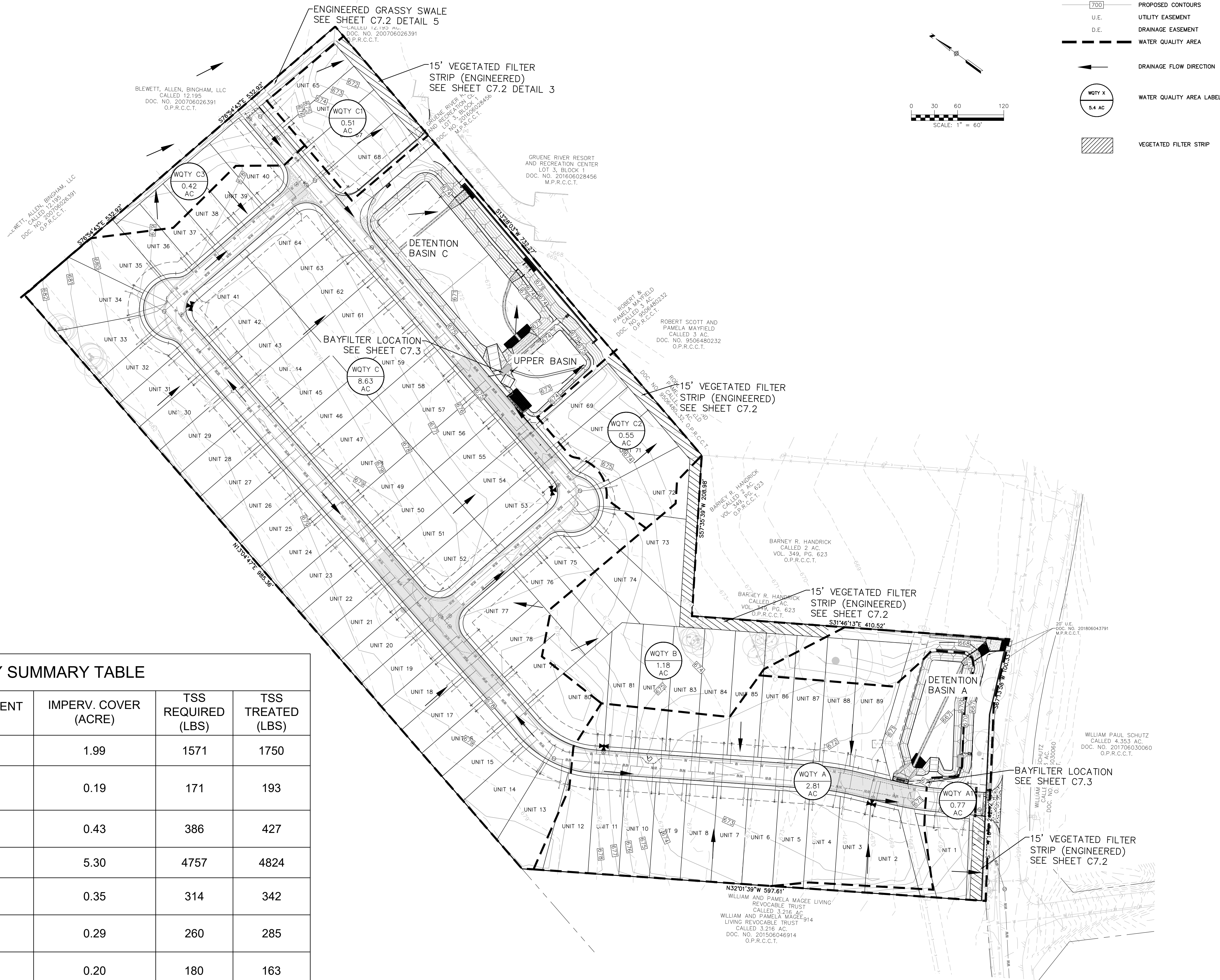
DESIGNED BY: HLC

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HMT PROJECT NO.:
170.004

SHEET
C6.5

WQTY SUMMARY TABLE				
BMP	BMP CATCHMENT AREA	IMPERV. COVER (ACRE)	TSS REQUIRED (LBS)	TSS TREATED (LBS)
BAYFILTER A	WQTY A	1.99	1571	1750
15' VEGETATED FILTER STRIP	WQTY A1	0.19	171	193
15' VEGETATED FILTER STRIP	WQTY B	0.43	386	427
BAYFILTER C	WQTY C	5.30	4757	4824
15' VEGETATED FILTER STRIP	WQTY C1	0.35	314	342
15' VEGETATED FILTER STRIP	WQTY C2	0.29	260	285
ENGINEERED GRASSY SWALE	WQTY C3	0.20	180	163
TOTAL		8.75	7639	7984



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**WATER QUALITY
OVERALL**

VILLAGE AT GRUENE
CONDOMINIUMS

[illegible]

DRAWN BY: HLC

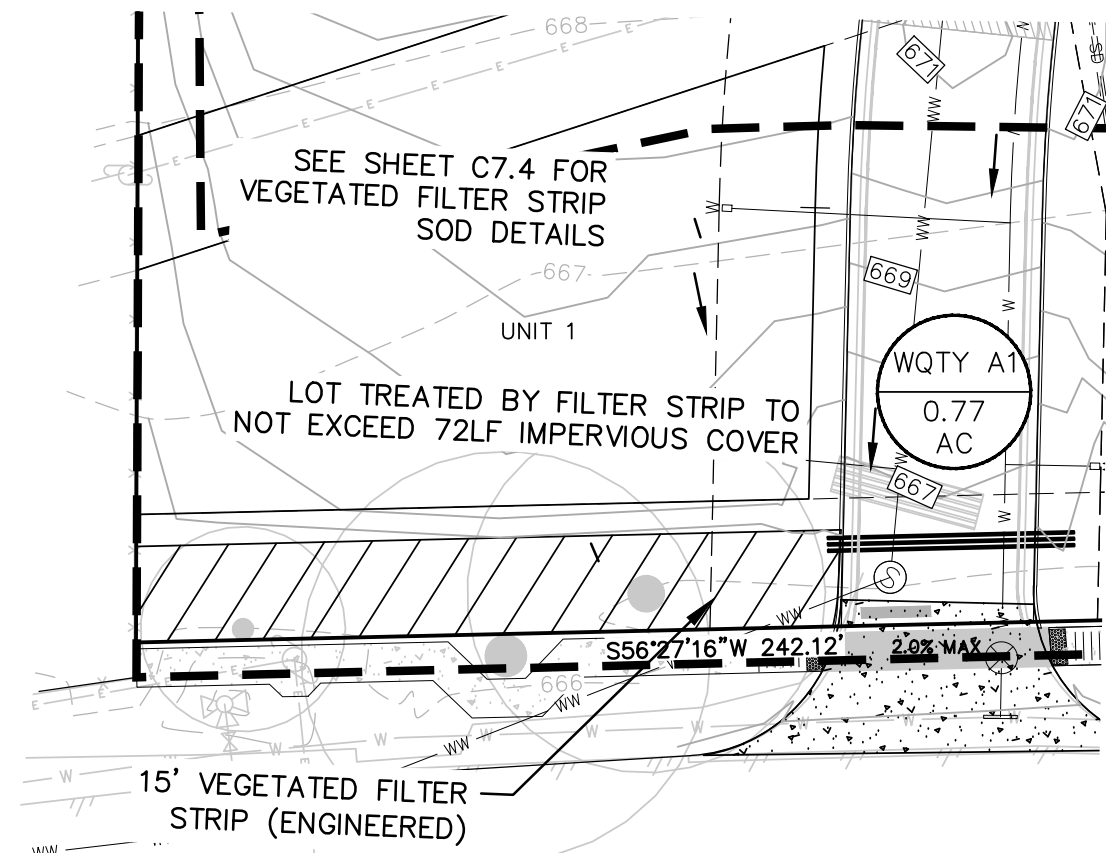
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REVIEWED BY: CVP

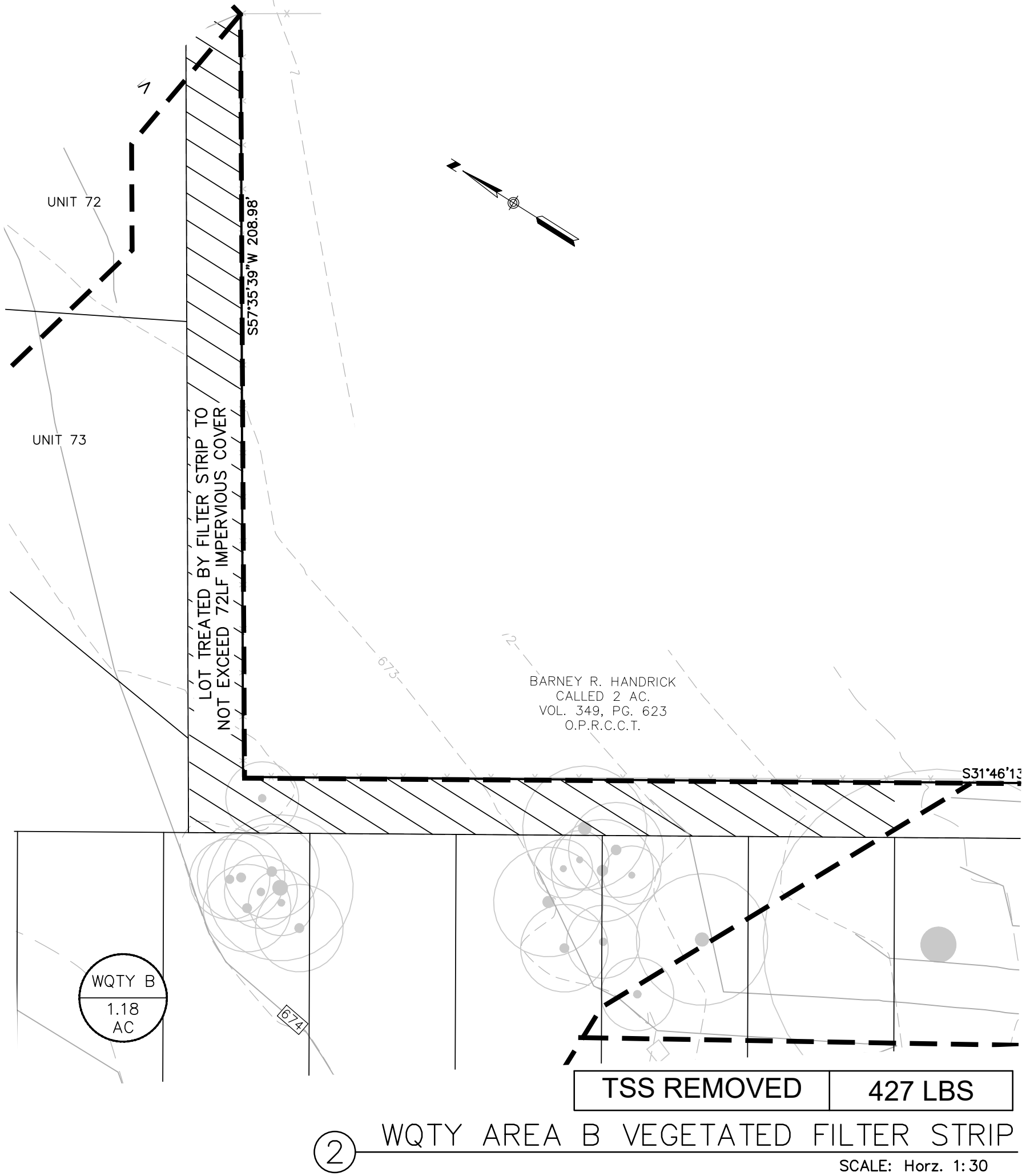
HMT PROJECT NO.:
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SHEET
C7.1

NOTE:
FREE RELEASING PORTION OF ENTRY PRIVATE DRIVE (EASY GRUENE) IS
OFFSET BY PREVIOUSLY EXISTING ON SITE IMPERVIOUS COVER.

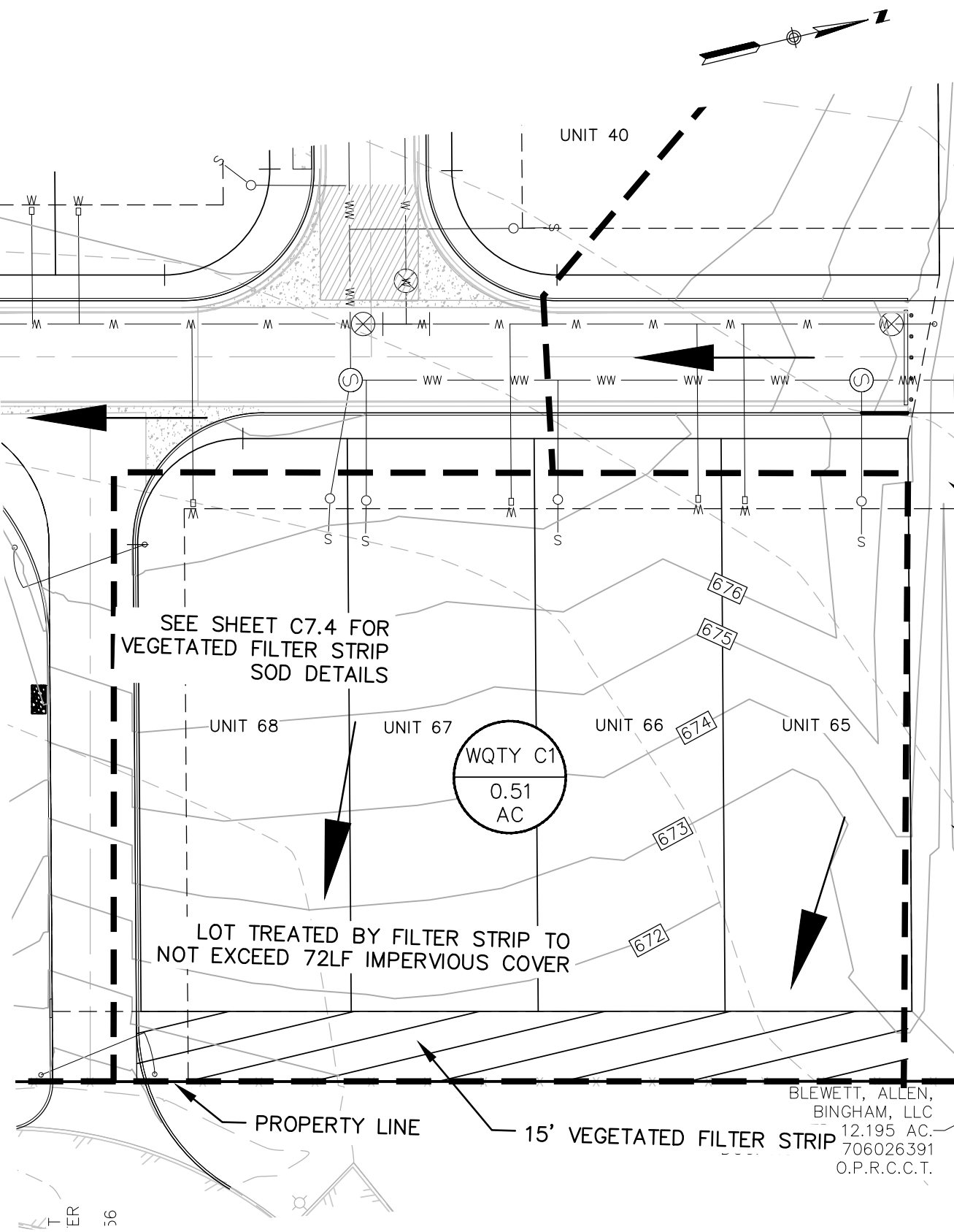


TSS TREATED 193 LBS
① WQTY AREA A1 VEGETATED FILTER STRIP
SCALE: Horz. 1:30

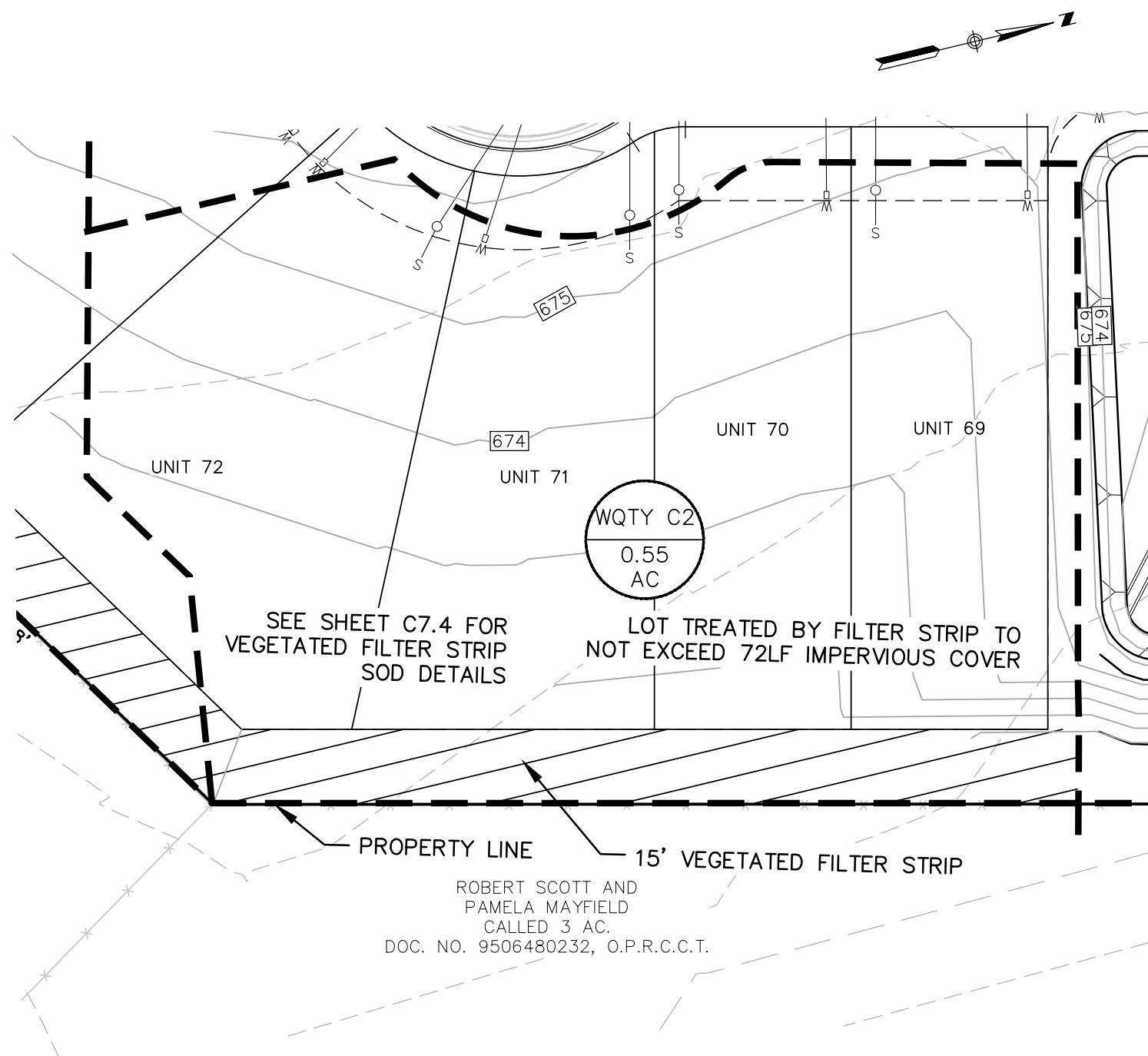


TSS REMOVED 427 LBS
② WQTY AREA B VEGETATED FILTER STRIP
SCALE: Horz. 1:30

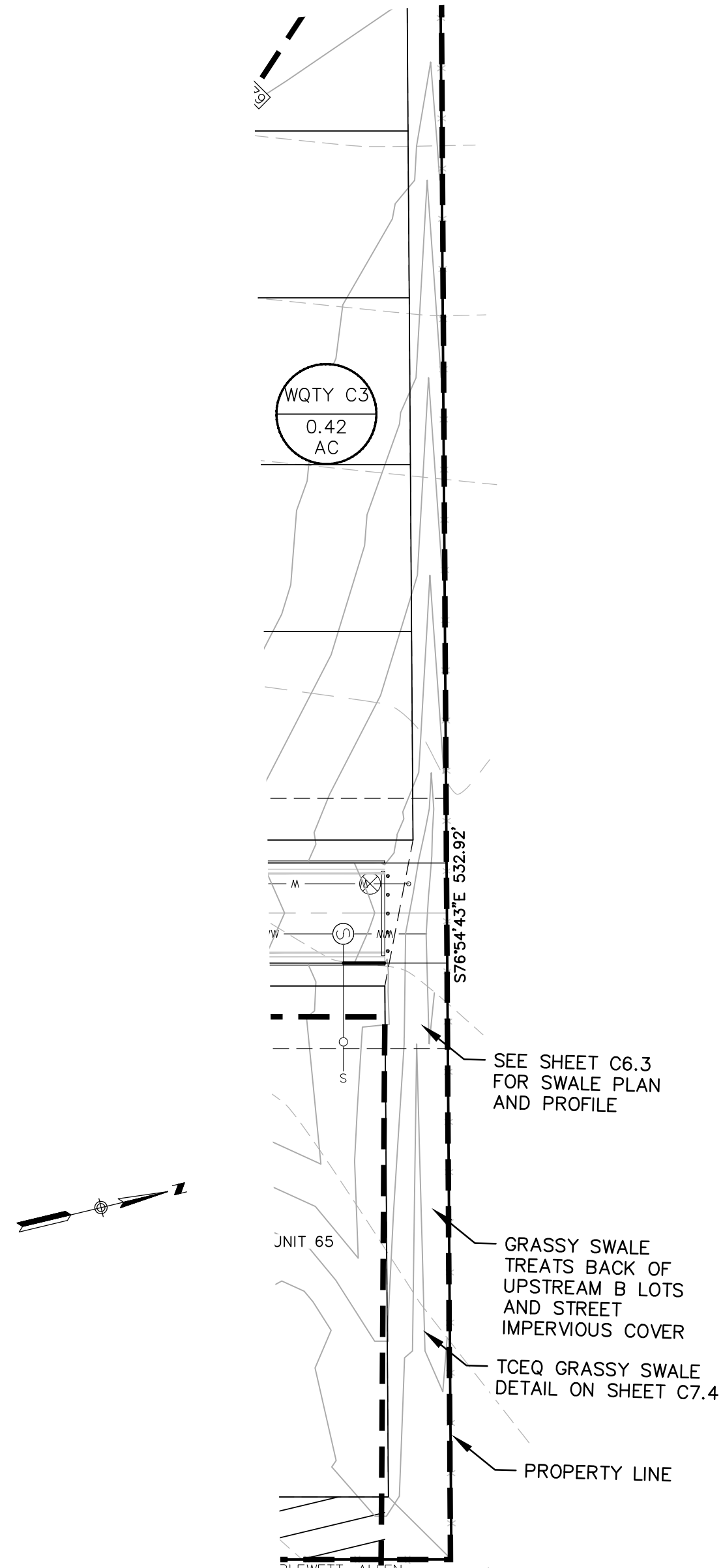
- LEGEND
- 700 EXISTING CONTOURS
 - 700 PROPOSED CONTOURS
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - WATER QUALITY AREA
 - DRAINAGE FLOW DIRECTION
 - WQTY X 5.4 AC WATER QUALITY AREA LABEL
 - VEGETATED FILTER STRIP



TSS REMOVED 342 LBS
③ WQTY AREA C1 VEGETATED FILTER STRIP
SCALE: Horz. 1:30



TSS REMOVED 285 LBS
④ WQTY AREA C2 VEGETATED FILTER STRIP
SCALE: Horz. 1:30



TSS REMOVED 163 LBS
⑤ WQTY AREA C3 ENGINEERED GRASSY SWALE
SCALE: Horz. 1:30

GRASSY SWALE C3: TCEQ CALCS				
	BOTTOM WIDTH	LENGTH	DEPTH	GRADE
REQUIRED	0'	60.95'	0.21'	0.6% (DESIGN)
PROVIDED	0'	230.0'	1.00'	0.6%

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VEGETATED FILTER
STRIP & SWALE AREAS
VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

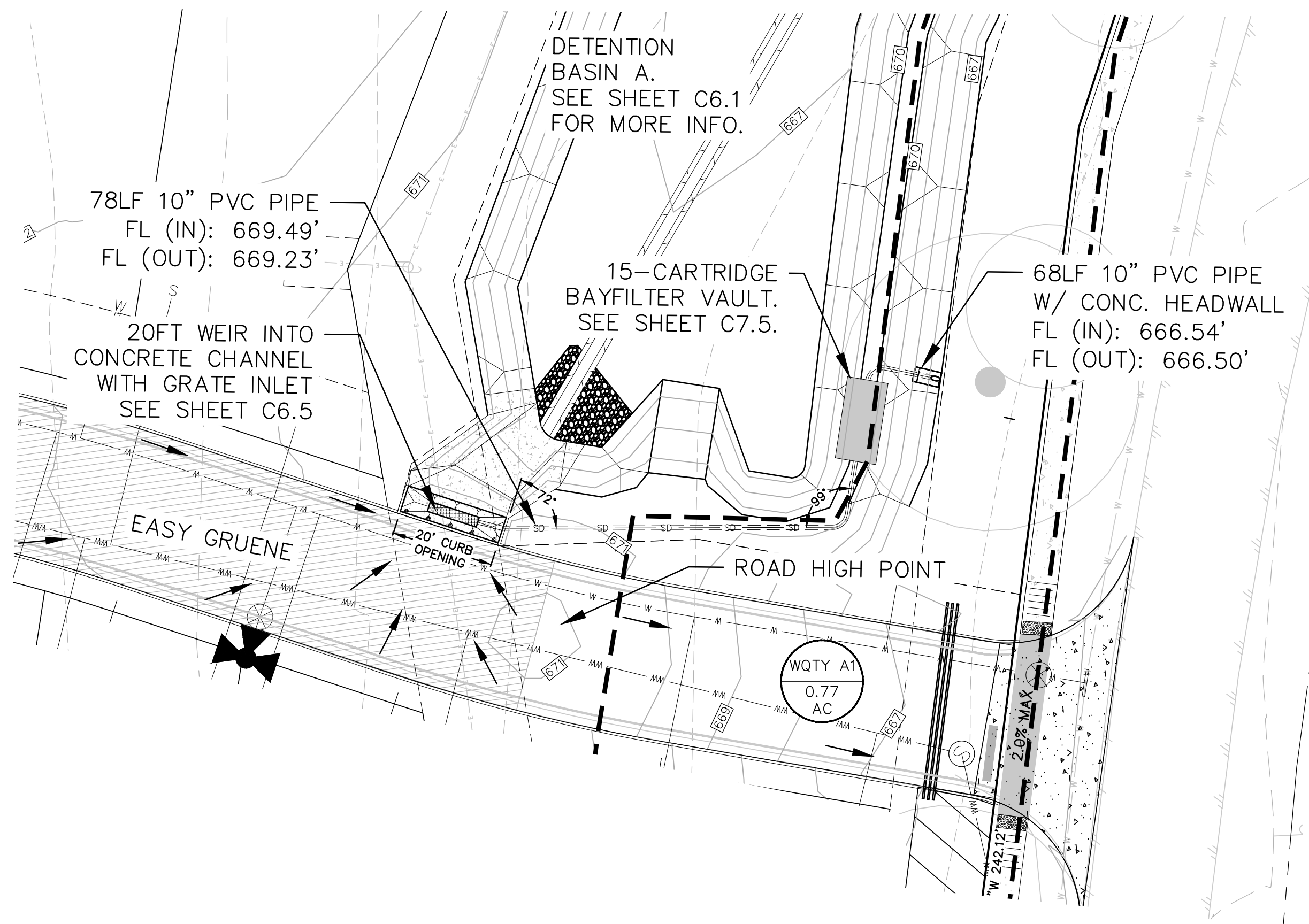
SHEET
C7.2

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Volume Held By PVC Pipe	
Volume = $\pi \cdot r^2 \cdot \text{Length}$	
$r = 5"$	Length = 78
Volume = 61 cf	

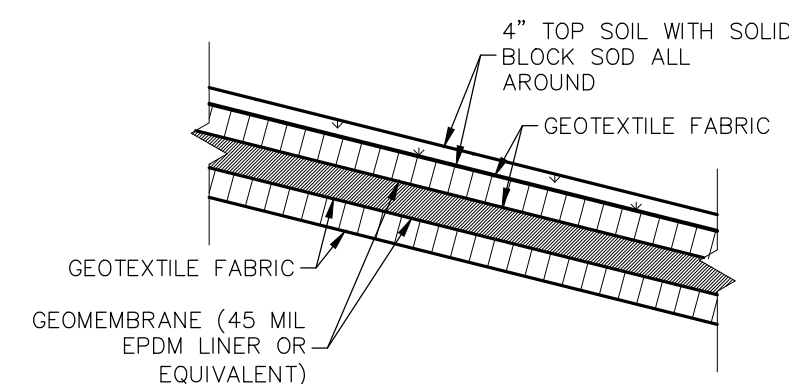
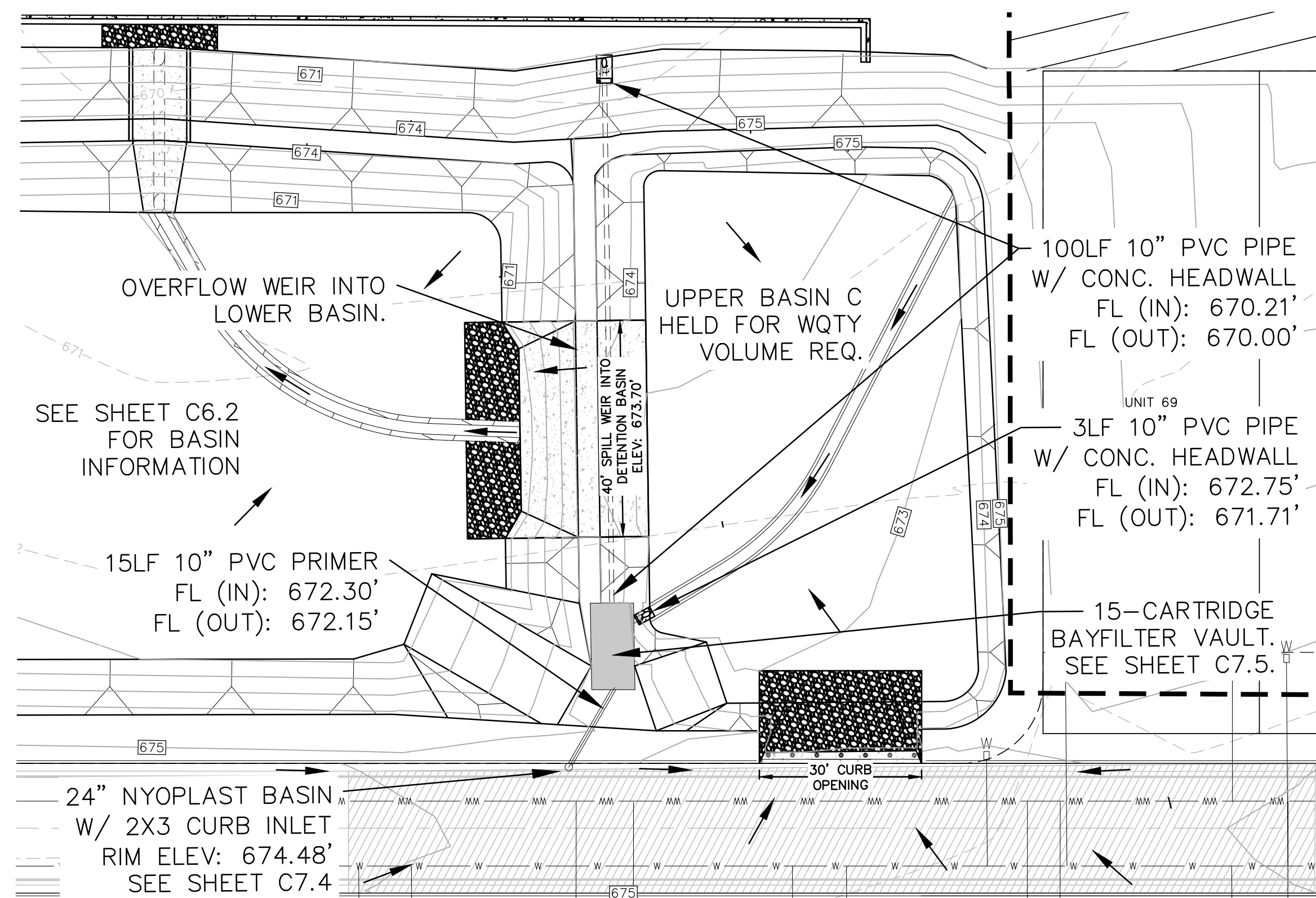
VOLUME BREAKDOWN FOR BASIN A (ABOVE). THE TWO COMBINE FOR 330 CF



WATER QUALITY AREA A	
ITEM	QUANTITY
TSS REMOVAL CAPACITY	1,990 LBS
TSS REQUIRED	1,490 LBS
TSS REMOVED	1,750 LBS
WQTY VOLUME REQUIRED	310 CF
WQTY VOLUME PROVIDED	330 CF

WATER QUALITY AREA C	
ITEM	QUANTITY
TSS REMOVAL CAPACITY	5,316 LBS
TSS REQUIRED	4,757 LBS
TSS REMOVED	4,824 LBS
WQTY VOLUME REQUIRED	9,380 CF
WQTY VOLUME PROVIDED	9,404 CF

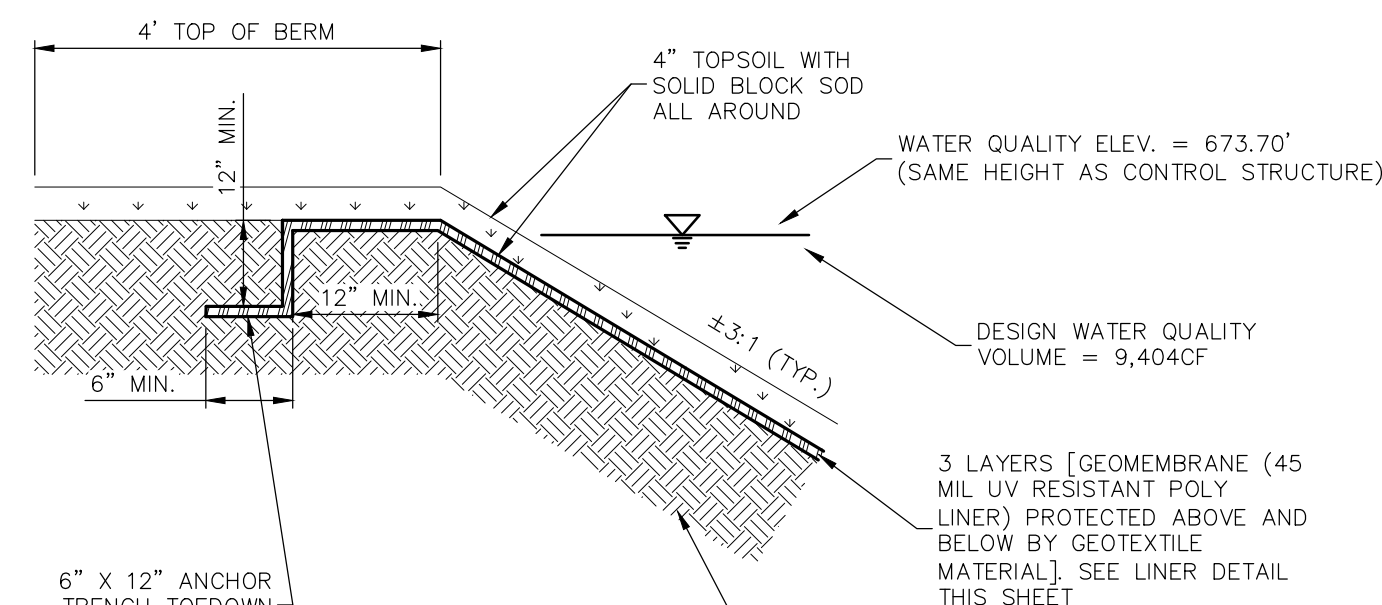
Pond Name	WOTY Basin C				
Row	Stage	Elevation	Contour Area	Incremental Storage	Total Storage
	(ft)	(ft)	(sqft)	(cuft)	(cuft)
0	0.00	671.71	300	0.000	0.000
1	0.50	672.21	2,960	620	620
2	1.00	672.71	5,739	2,105	3,005
3	1.20	672.91	6,394	1,215	4,220
4	1.99	673.70	8,230	5,194	9,404
5	2.20	673.91	7,100	1,462	10,656
6	3.20	674.91	7,360	7,230	18,086



NOTES:

1. LINER AND PROTECTIVE GEOTEXTILE FABRIC, ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. GEOMEMBRANE LINER SHALL HAVE A MINIMUM THICKNESS OF FORTY-FIVE (45) MILS.
3. SELECTION OF FINAL LINER WILL BE IDENTIFIED IN CERTIFICATION LETTER TO TCEQ AFTER COMPLETION OF BASIN CONSTRUCTION.

NOT-TO-SCALE



NOTES:

1. THE GEOMEMBRANE LINER SHALL HAVE A MINIMUM THICKNESS OF 30 MILS (40 MILS, RECOMMENDED) AND BE ULTRAVIOLET RESISTANT.
2. INSTALLATION METHODS FOR GEOMEMBRANE LINERS VARY ACCORDING TO THE SITE REQUIREMENTS. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
3. CONTRACTOR SHALL PREVENT ANY TEARING OR PUNCTURING TO THE POLY LINER DURING CONSTRUCTION. ENTIRE LINER MUST BE WATER TIGHT.
4. SEE BASIN CROSS-SECTION FOR RELEVANT ELEVATIONS.

PROPERTY	TEST METHOD	UNIT	SPECIFICATION (MIN.)
UNIT WEIGHT	ASTM D-5261	oz/yd ²	8
FILTRATION RATE	ASTM D-4491	in/sec	0.08
PUNCTURE STRENGTH	ASTM D-751*	lbs.	125
MULLEN BURST STRENGTH	ASTM D-3786	psi	400
TENSILE STRENGTH	ASTM D-4632	lbs.	200
EQUIV. OPENING SIZE	US STANDARD SIEVE	No.	80

NOT-TO-SCALE

*DETAIL TO BE APPLIED TO ENTIRETY OF UPPER BASIN C.

NOTE:
SEE SHEET C7.5 FOR BAYFILTER SPECIFICATIONS.

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- UTILITY EASEMENT
- DRAINAGE EASEMENT
- WATER QUALITY AREA
- DRAINAGE FLOW DIRECTION
- WATER QUALITY AREA LABEL
- VEGETATED FILTER STRIP

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BAYFILTER AREAS

VILLAGE AT GRUENE
CONDOMINIUMS

REVISION DATE

REVISION	DESCRIPTION
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NO.

DATE: JUNE 2020

DRAWN BY: HL

DESIGNED BY: HL

REVIEWED BY: CV

HMT PROJECT NO.

170.004

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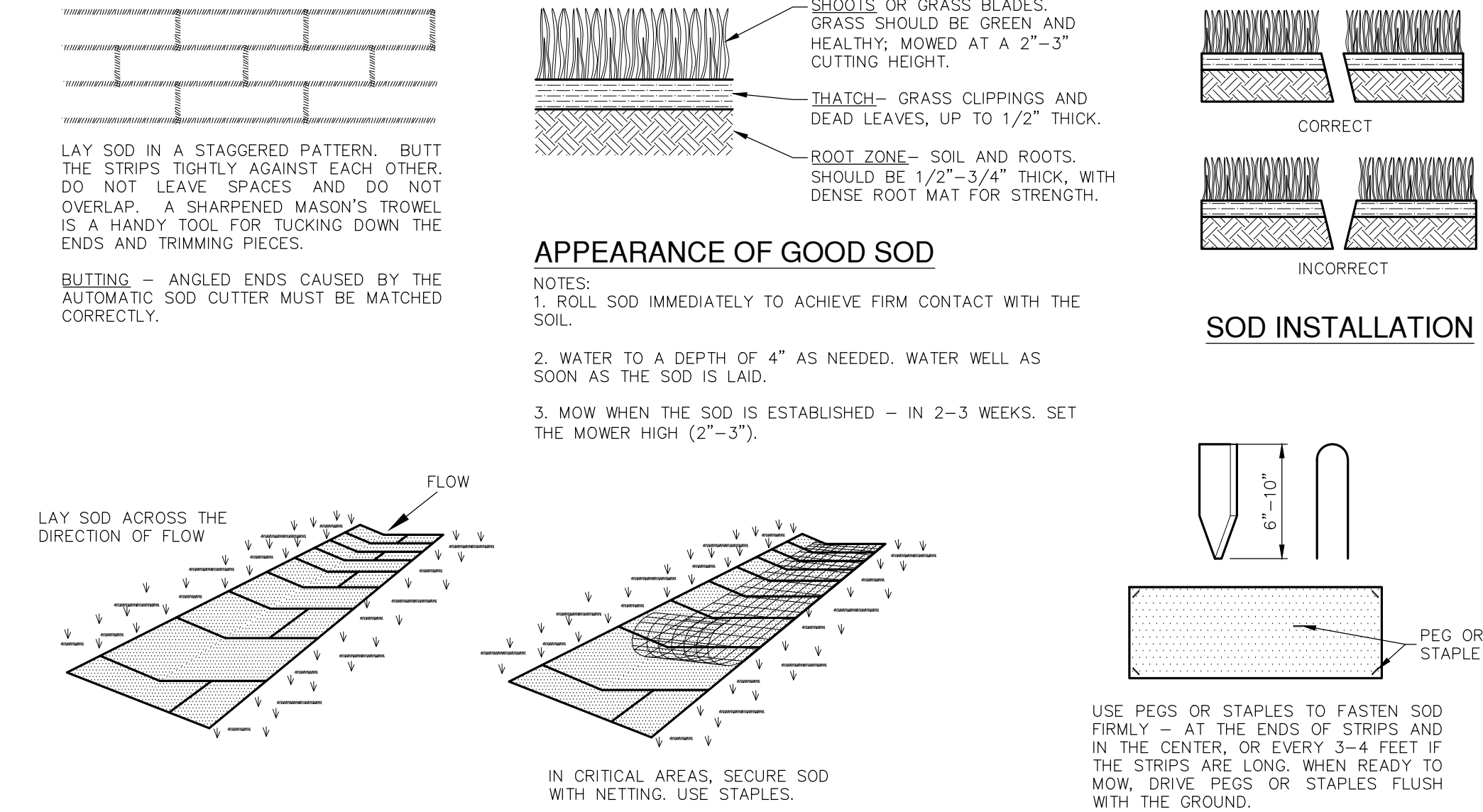
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growing Name: N:_Projects\170 - James Japhet\170.004 - Villages at Gruene Garden Homes\CDs\170.004_WQTY.dwg User: hank-crippen Jun 03, 2020 - 5:15pm

Drawing Name: N:_Projects\170 - James Tophet\170 - Villages at Gruene Garden Homes\CDs\170.004_MOT.dwg User: hank-crippen Jun 03, 2020 - 5:15pm



MATERIALS

1. SOD SHOULD BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4" INCH (± 1/4" INCH) AT THE TIME OF CUTTING. THIS THICKNESS SHOULD EXCLUDE SHOOT GROWTH AND THATCH.
2. PIECES OF SOD SHOULD BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND LENGTH, WITH A MAXIMUM ALLOWABLE DEVIATION IN ANY DIMENSION OF 5% TORN OR UNEVEN PADS SHOULD NOT BE ACCEPTABLE.
3. STANDARD SIZE SECTIONS OF SOD SHOULD BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED FROM A FIRM GRASP ON ONE END OF THE SECTION.
4. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.

SITE PREPARATION

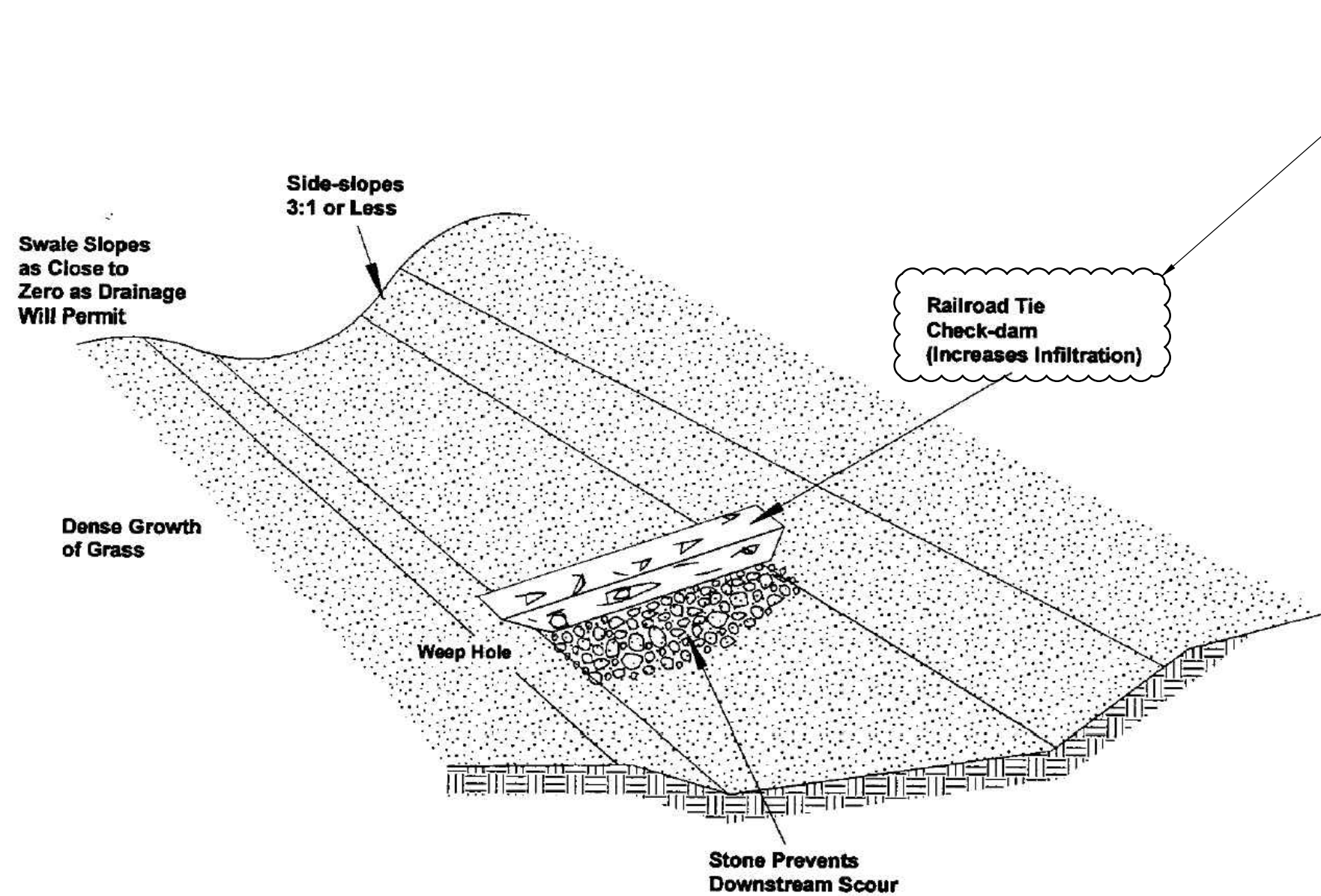
1. PRIOR TO SOIL PREPARATION, AREAS TO BE SODDED SHOULD BE BROUGHT TO FINAL GRADE IN ACCORDANCE WITH THE APPROVED PLAN.
2. THE SURFACE SHOULD BE CLEARED OF ALL TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
3. FERTILIZER ACCORDING TO SOIL TESTS. FERTILIZER NEEDS CAN BE DETERMINED BY A SOIL TESTING LABORATORY OR REGIONAL RECOMMENDATIONS CAN BE MADE BY COUNTY AGRICULTURAL EXTENSION AGENTS. FERTILIZER SHOULD BE WORKED INTO THE SOIL TO A DEPTH OF 3 INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. ON SLOPING LAND, THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE CONTOUR.

INSTALLATION IN CHANNELS

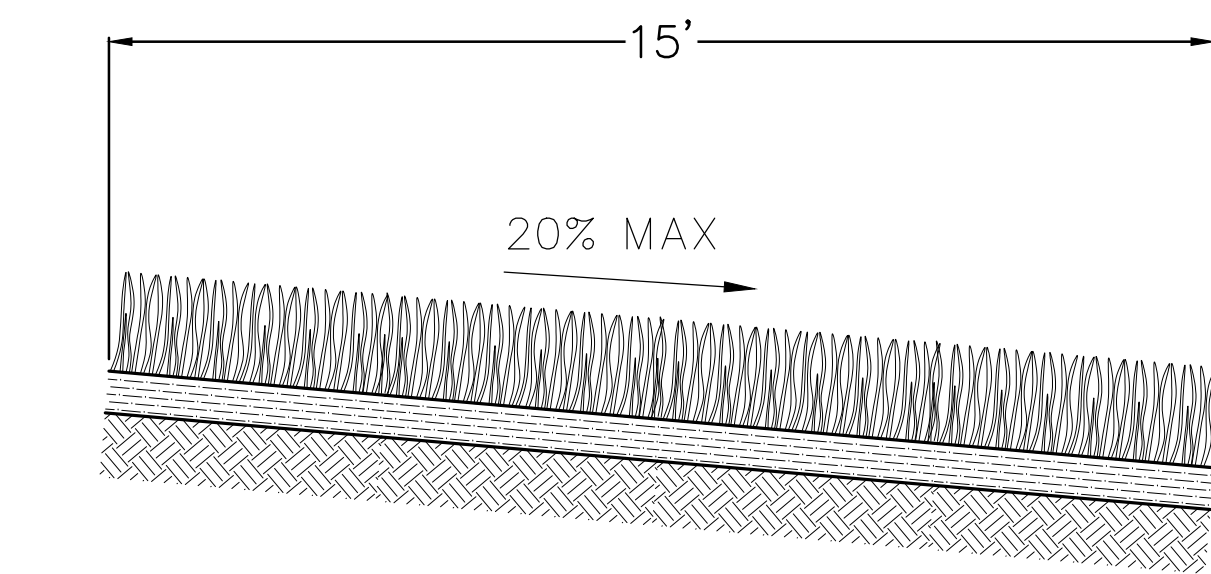
1. SOD STRIPS IN WATERWAYS SHOULD BE LAID PERPENDICULAR TO THE DIRECTION OF FLOW. CARE SHOULD BE TAKEN TO BUTT ENDS OF STRIPS TIGHTLY (SEE FIGURE ABOVE).
2. AFTER ROLLING OR TAMPING, SOD SHOULD BE PEGGED OR STAPLED TO RESIST WASHOUT DURING THE ESTABLISHMENT PERIOD. MESH OR OTHER NETTING MAY BE PEGGED OVER THE SOD FOR EXTRA PROTECTION IN CRITICAL AREAS.

VEGETATED FILTER STRIP SOD INSTALLATION DETAIL

NOT-TO-SCALE



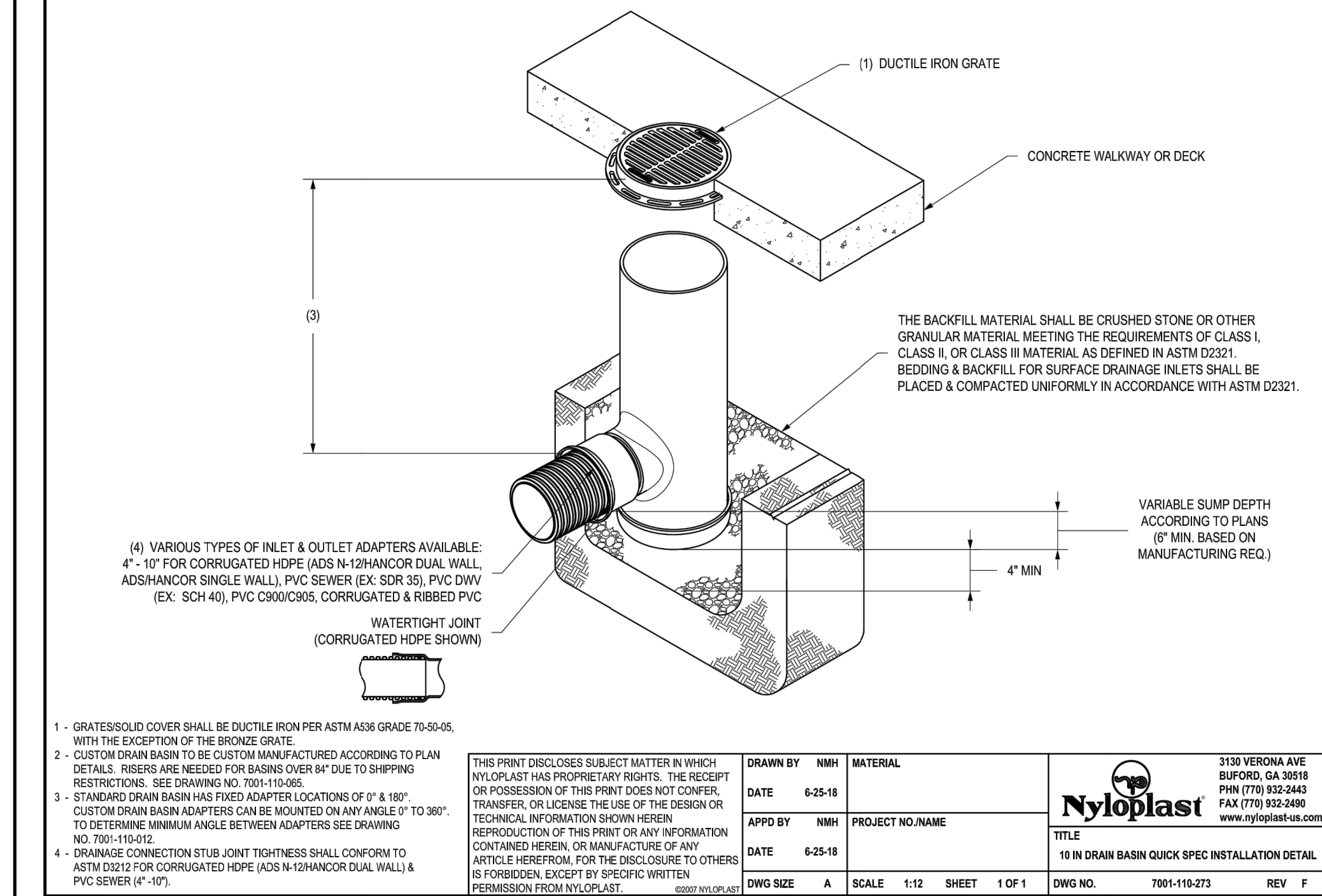
TCEQ GRASSY SWALE DETAIL



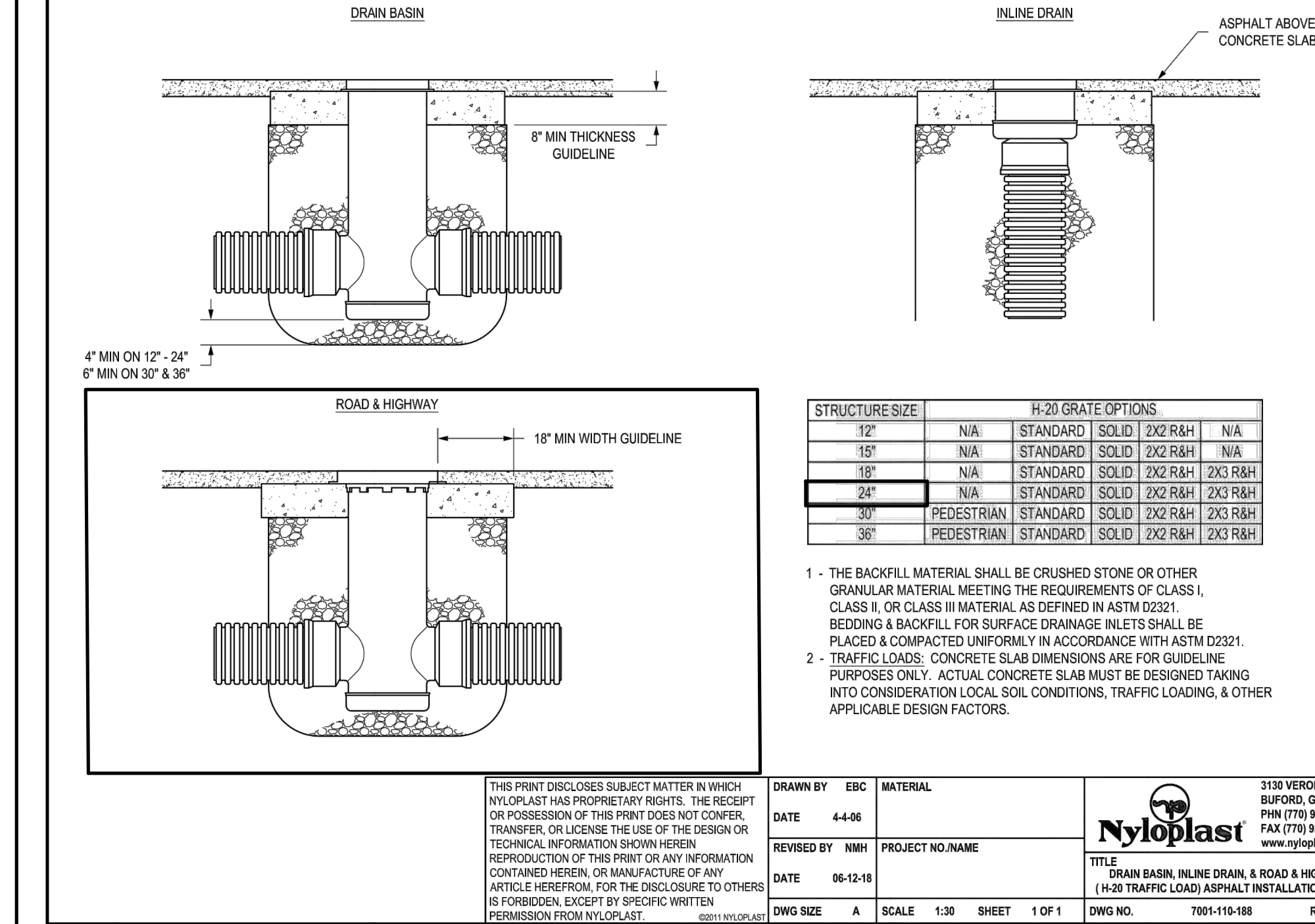
15' ENGINEERED VEGETATED FILTER STRIP SECTION

NOT-TO-SCALE

NYLOPLAST 10" DRAIN BASIN: 2810AG __ X



ASPHALT INSTALLATION



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WATER QUALITY TREATMENT DETAILS (1 OF 2) VILLAGE AT GRUENE CONDOMINIUMS

NO.	REVISION	DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

SHEET
C7.4

PROJECT INFORMATION	
ENGINEERED	ROSS CORDER
PRODUCT	830-388-9788
MANAGER:	ROSS CORDER@ADS-PIPE.COM
ADS SALES REP:	BLAKE WHITE
	830-331-0640
	BLAKE.WHITE@ADS-PIPE.COM
PROJECT NO:	5162888



VILLAGE AT GRUENE CONDOMINIUMS NEW BRAUNFELS, TX

BAYSAVER BAYFILTER SPECIFICATIONS

PRODUCTS

- A. INTERNAL COMPONENTS: ALL COMPONENTS INCLUDING CONCRETE STRUCTURE(S), PVC MANIFOLD PIPING AND FILTER CARTRIDGES, SHALL BE PROVIDED BY BAYSAVER TECHNOLOGIES LLC, 1030 DEER HOLLOW DRIVE, MOUNT AIRY, NC (800.229.7283).
- B. PVC MANIFOLD PIPING: ALL INTERNAL PVC PIPE AND FITTINGS SHALL MEET ASTM D1785. MANIFOLD PIPING SHALL BE PROVIDED TO THE CONTRACTOR PARTIALLY PRE-CUT AND PRE-ASSEMBLED.
- C. FILTER CARTRIDGES: EXTERNAL SHELL OF THE FILTER CARTRIDGES SHALL BE SUBSTANTIALLY CONSTRUCTED OF POLYETHYLENE OR EQUIVALENT MATERIAL ACCEPTABLE TO THE MANUFACTURER. FILTRATION MEDIA SHALL BE ARRANGED IN A SPIRAL LAYERED FASHION TO MAXIMIZE AVAILABLE FILTRATION AREA. AN ORIFICE PLATE SHALL BE SUPPLIED WITH EACH CARTRIDGE TO RESTRICT THE FLOW RATE TO A MAXIMUM OF 45 GPM.
- D. FILTER MEDIA: FILTER MEDIA SHALL BE BY BAYSAVER TECHNOLOGIES LLC AND SHALL CONSIST OF THE FOLLOWING MIX: A BLEND OF ZEOLITE, PERLITE AND ACTIVATED ALUMINA.
- E. PRECAST CONCRETE VAULT: CONCRETE STRUCTURES SHALL BE PROVIDED ACCORDING TO ASTM C. THE MATERIALS AND STRUCTURAL DESIGN OF THE DEVICES SHALL BE PER ASTM C478, C587 AND C589. PRECAST CONCRETE SHALL BE PROVIDED BY BAYSAVER TECHNOLOGIES, LLC.

PERFORMANCE

- A. THE STORMWATER FILTER SYSTEM SHALL BE AN OFFLINE DESIGN CAPABLE OF TREATING 100% OF THE REQUIRED TREATMENT FLOW AT FULL SEDIMENT LOAD CONDITIONS.
- B. THE STORMWATER FILTER SYSTEMS CARTRIDGES SHALL HAVE NO MOVING PARTS.
- C. THE STORMWATER TREATMENT UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 87% OF SUSPENDED SOLIDS (TCEQ REGULATORY GUIDANCE 348), TOTAL PHOSPHORUS, TURBIDITY, TOTAL COPPER, AND ZINC BASED UPON LOCAL APPROVALS AND INDEPENDENT TESTING.
- D. THE STORMWATER FILTRATION CARTRIDGE SHALL BE EQUIPPED WITH A HYDRODYNAMIC BACKWASH MECHANISM TO EXTEND THE FILTER'S LIFE AND OPTIMIZE ITS PERFORMANCE.
- E. THE STORMWATER FILTRATION SYSTEMS CARTRIDGES SHALL HAVE A TREATED SEDIMENT CAPACITY FOR 87% TSS REMOVAL OF 262 LBS FOR 545 AND 530 CARTRIDGES, AND 131 LBS FOR 522 CARTRIDGE.

BAYFILTER MAINTENANCE

THE BAYFILTER SYSTEM REQUIRES PERIODIC MAINTENANCE TO CONTINUE OPERATING AT ITS PEAK EFFICIENCY DESIGN. THE MAINTENANCE PROCESS COMPRISES THE REMOVAL AND REPLACEMENT OF EACH BAYFILTER CARTRIDGE AND THE CLEANING OF THE VAULT OR MANHOLE WITH A VACUUM TRUCK. FOR BEST RESULTS, BAYFILTER MAINTENANCE SHOULD BE PERFORMED BY A CERTIFIED MAINTENANCE CONTRACTOR. A QUICK CALL TO AN ADS ENGINEER OR CUSTOMER SERVICE REPRESENTATIVE WILL PROVIDE YOU WITH A LIST OF RELIABLE CONTRACTORS IN YOUR AREA.

WHEN BAYFILTER IS INITIALLY INSTALLED, WE RECOMMEND THAT AN INSPECTION BE PERFORMED ON THE SYSTEM IN THE FIRST SIX (6) MONTHS. AFTER THAT, THE INSPECTION CYCLE TYPICALLY FALLS INTO A BIENNIAL PATTERN GIVEN NORMAL STORM OCCURRENCE AND ACTUAL SOLIDS LOADS.

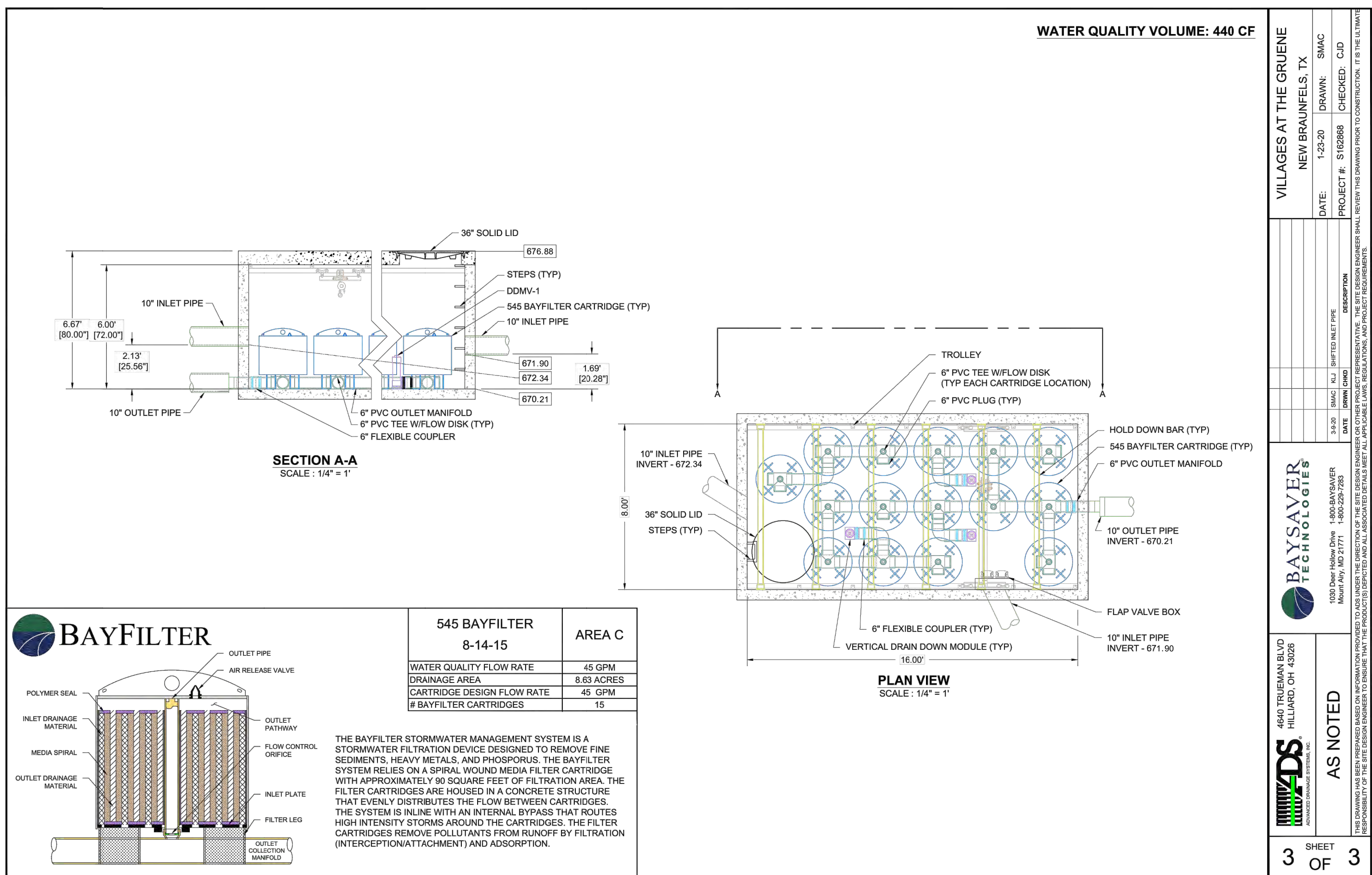
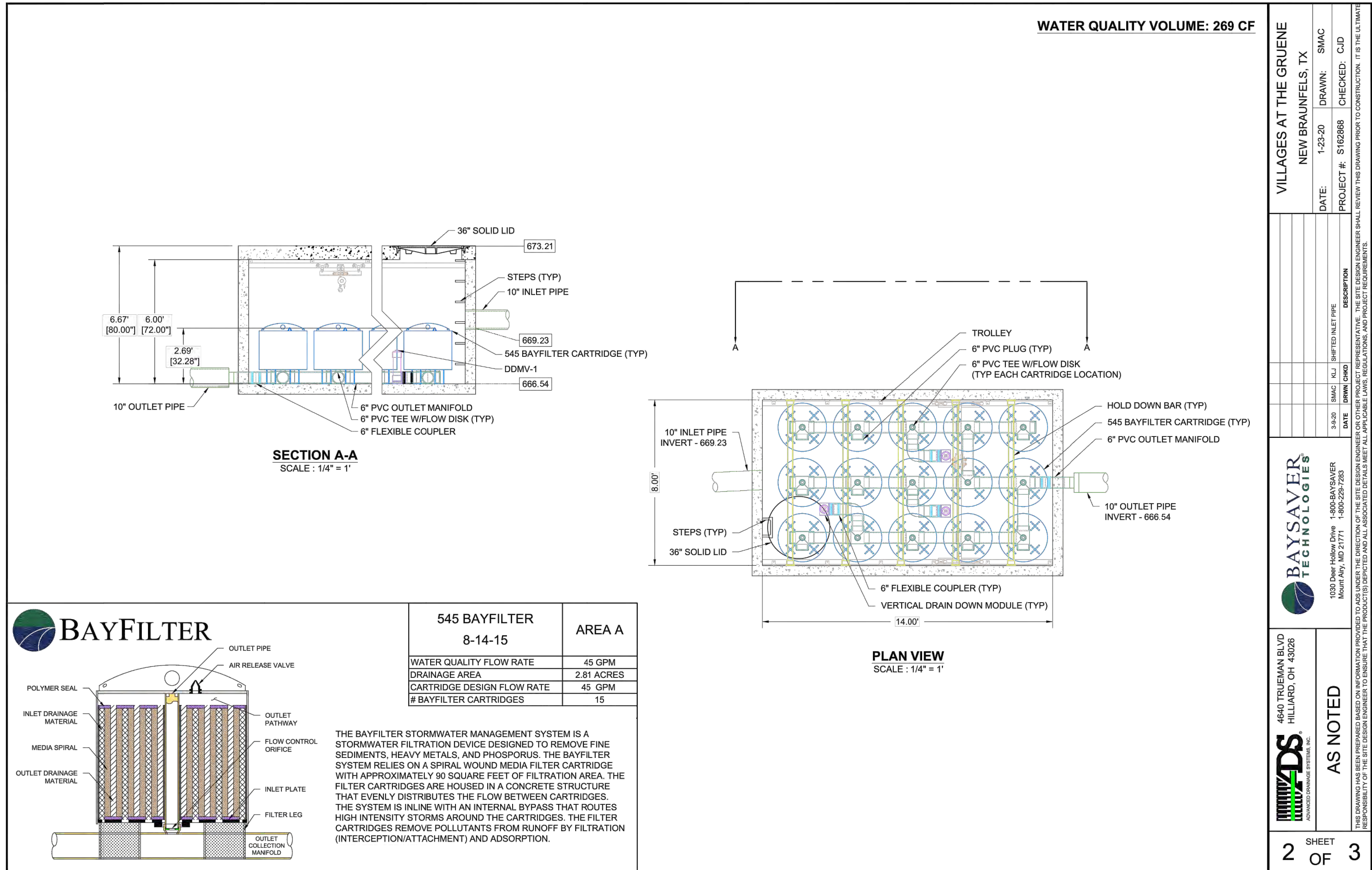
WHEN BAYFILTER EXHIBITS FLOWS BELOW DESIGN LEVELS, THE SYSTEM SHOULD BE INSPECTED AND MAINTAINED AS SOON AS PRACTICAL. REPLACING A BAYFILTER CARTRIDGE SHOULD BE CONSIDERED AT OR ABOVE THE LEVEL OF THE MANIFOLD.

MAINTENANCE PROCEDURES

1. REMOVE THE MANHOLE COVERS AND OPEN ALL ACCESS HATCHES.
2. BEFORE ENTERING THE SYSTEM MAKE SURE THE AIR IS SAFE PER OSHA STANDARDS OR USE A BREATHING APPARATUS. USE LOW O2, HIGH CO, OR OTHER APPLICABLE WARNING DEVICES PER REGULATORY REQUIREMENTS.
3. USING A VACUUM TRUCK, REMOVE ANY LIQUID AND SEDIMENTS THAT CAN BE REMOVED PRIOR TO ENTRY.
4. USING A SMALL LIFT OR THE BOOM OF THE VACUUM TRUCK, REMOVE THE USED CARTRIDGES BY LIFTING THEM OUT.
5. ANY CARTRIDGES THAT CANNOT BE READILY LIFTED CAN BE EASILY SLID ALONG THE FLOOR TO A LOCATION THEY CAN BE LIFTED VIA A BOOM LIFT.
6. WHEN ALL THE CARTRIDGES HAVE BEEN REMOVED, IT IS NOW PRACTICAL TO REMOVE THE BALANCE OF THE SOLIDS AND WATER. LOOSEN THE STAINLESS CLAMPS ON THE FERNOCO COUPLINGS FOR THE MANIFOLD AND REMOVE THE DRAINPIPS AS WELL. CAREFULLY CAP THE MANIFOLD AND THE FERNOCOS AND RINSE THE FLOOR, WASHING AWAY THE BALANCE OF ANY REMAINING COLLECTED SOLIDS.
7. CLEAN THE MANIFOLD PIPES, INSPECT, AND REINSTALL.
8. INSTALL THE EXCHANGE CARTRIDGES AND CLOSE ALL COVERS.
9. THE USED CARTRIDGES MUST BE SENT BACK TO ADS FOR EXCHANGE/RECYCLING AND CREDIT ON UNDAMAGED UNITS.

BAYFILTER INSTALLATION NOTES

1. CONTACT UTILITY LOCATOR TO MARK ANY NEARBY UNDERGROUND UTILITIES AND MAKE SURE IT IS SAFE TO EXCAVATE.
2. REFERENCE THE SITE PLAN AND STAKE OUT THE LOCATION OF THE BAYFILTER VAULT.
3. EXCAVATE THE HOLE, PROVIDING ANY SHEETING AND SHORING NECESSARY TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS.
4. LEVEL THE SUB-GRADE TO THE PROPER ELEVATION. VERIFY THE ELEVATION AGAINST THE MANHOLE DIMENSIONS, THE INVERT ELEVATIONS, AND THE SITE PLANS. ADJUST THE BASE AGGREGATE, IF NECESSARY.
5. HAVE THE SOIL BEARING CAPACITY VERIFIED BY A LICENSED ENGINEER FOR THE REQUIRED LOAD BEARING CAPACITY. ON SOLID SUB-GRADE, SET THE FIRST SECTION OF THE BAYFILTER PRE-CAST VAULT.
6. CHECK THE LEVEL AND ELEVATION OF THE FIRST SECTION TO ENSURE IT IS CORRECT BEFORE ADDING ANY RISER SECTIONS.
7. IF ADDITIONAL SECTIONS ARE REQUIRED, ADD A WATERTIGHT SEAL TO THE FIRST SECTION OF THE BAYFILTER VAULT. SET ADDITIONAL SECTION(S) OF THE VAULT, ADDING A WATERTIGHT SEAL TO EACH JOINT.
8. INSTALL THE PVC OUTLET MANIFOLD.
9. INSTALL THE PVC OUTLET PIPE IN BAYFILTER VAULT.
10. INSTALL THE INLET PIPE TO THE BAYFILTER VAULT.
11. AFTER THE SITE IS STABILIZED, REMOVE ANY ACCUMULATED SEDIMENT OR DEBRIS FROM THE VAULT AND INSTALL THE FLOW DISKS, DRAIN-DOWN MODULES (IF APPLICABLE), AND THE BAYFILTER CARTRIDGES.
12. PLACE FULL SET OF HOLD-DOWN BARS AND BRACKETS INTO PLACE.



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



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IT IS NOT TO BE USED FOR
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PERMIT PURPOSES.

WATER QUALITY TREATMENT DETAILS (2 OF 2) VILLAGE AT GRUENE CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

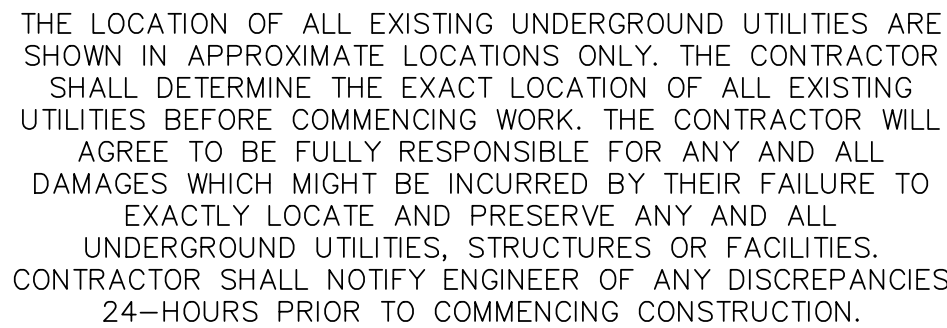
DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.: 170.004

SHEET
C7.5



VILLAGE AT GRUENE ONSITE SEWER COMPONENTS LIST	
LUE COUNT = 89	
COUNT	PART
2,307 LF	8" SDR 26 PVC MAIN
80 LF	8" DR 18 PVC MAIN
10	MANHOLES
89	SERVICE LINES & CLEANOUT

UTILITY TRENCH COMPACTION

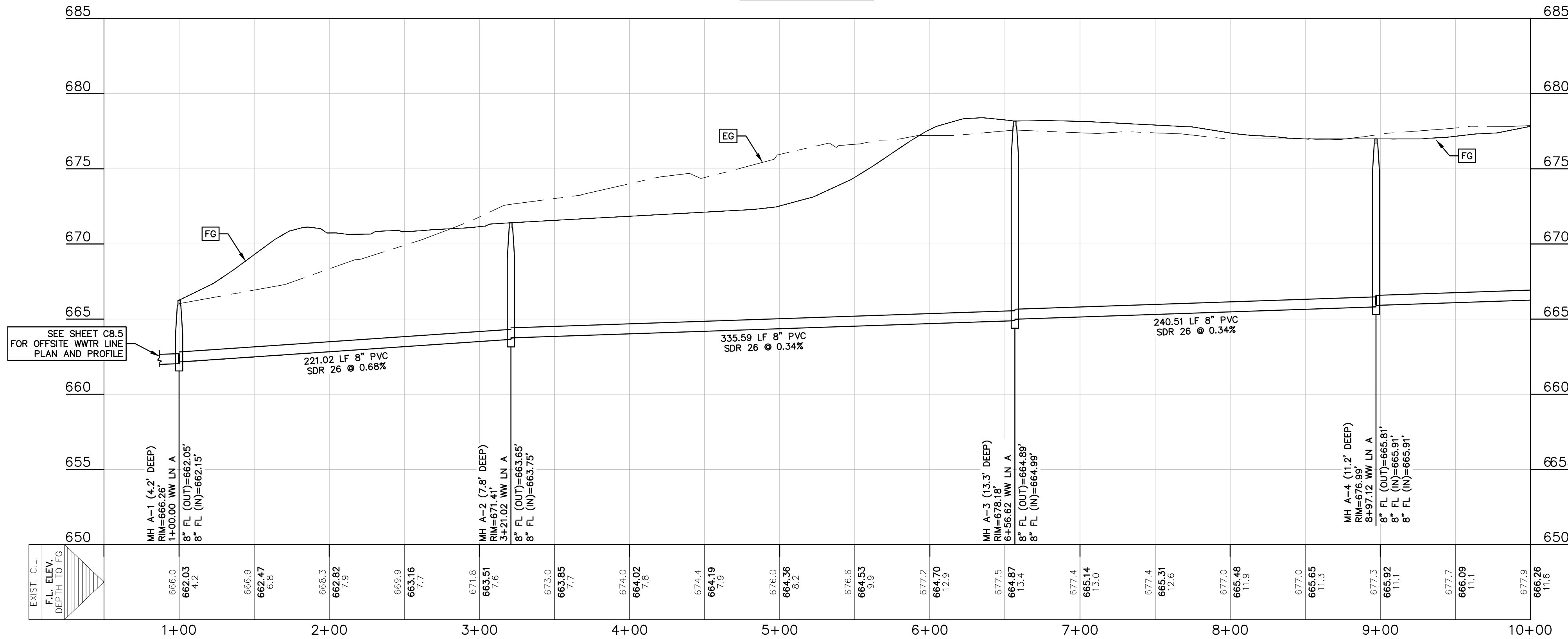
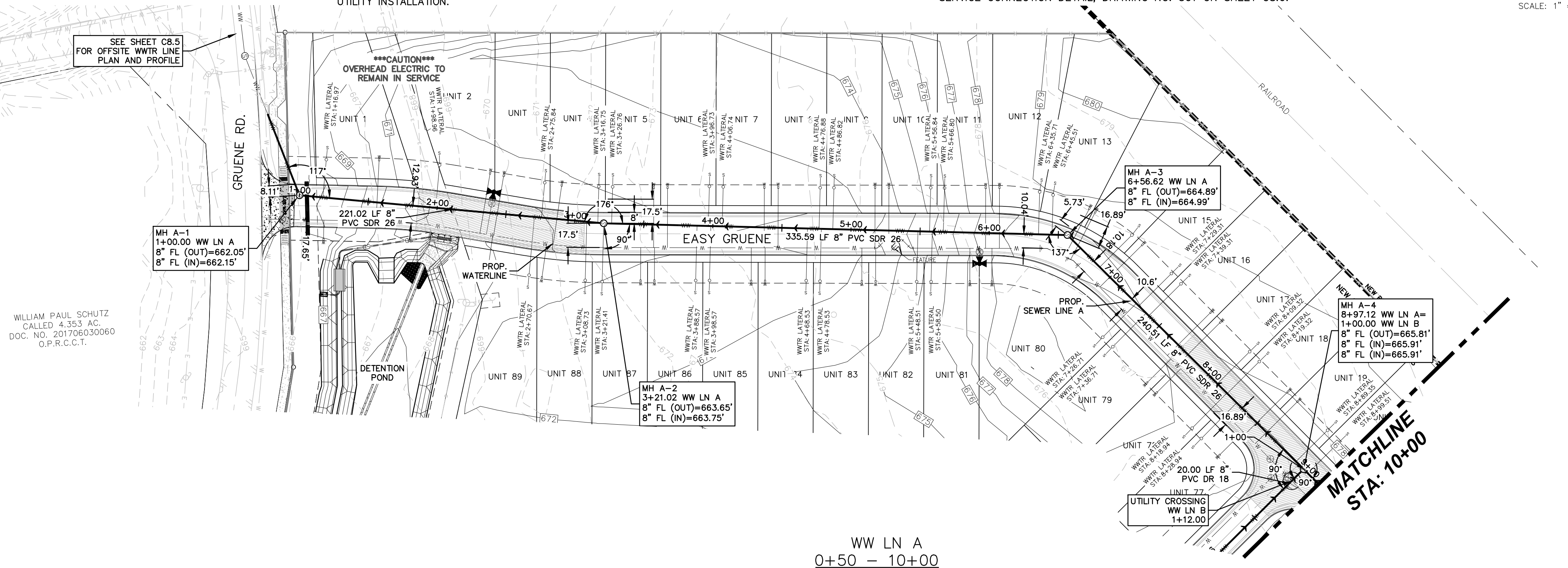
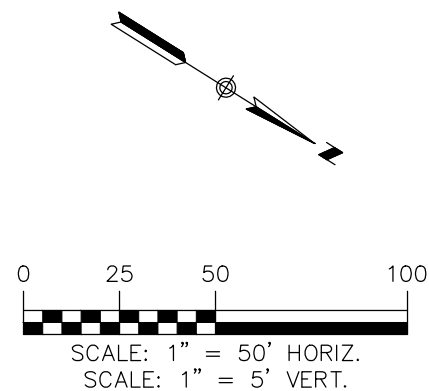
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CONSTRUCTION NOTES:

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- NO VALVES, HYDRANTS, CLEAN-OUTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.
- ALL SEWER PIPE ASTM 3034 (115 PSI)
- ALL MANHOLES SHALL BE 48" DIAMETER.
- ALL RING AND COVER SHALL BE 32" DIAMETER.
- EXISTING MANHOLES, RIM AND FLOWLINE ELEVATIONS SURVEYED BY HMT ENGINEERING & SURVEYING DATED 10/03/2019.
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- CONDO LOT LINES ARE SHOWN FOR REFERENCE ONLY.
- SERVICE LINES LEADING TO A MAIN AT DEPTH 8'-0" OR MORE NEED TO FOLLOW THE DEEP SERVICE CONNECTION DETAIL, DRAWING NO. 301 ON SHEET C8.6.

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- EXISTING WASTEWATER LINE
- PROPOSED WASTEWATER LINE
- PROPOSED WASTEWATER SERVICE
- UTILITY CROSSING



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LUE COUNT = 89	
COUNT	PART
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TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTORS IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

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WASTEWATER LINE - A PLAN AND PROFILE (1 OF 2) VILLAGE AT GRUENE CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:

170.004

SHEET

C8.2

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

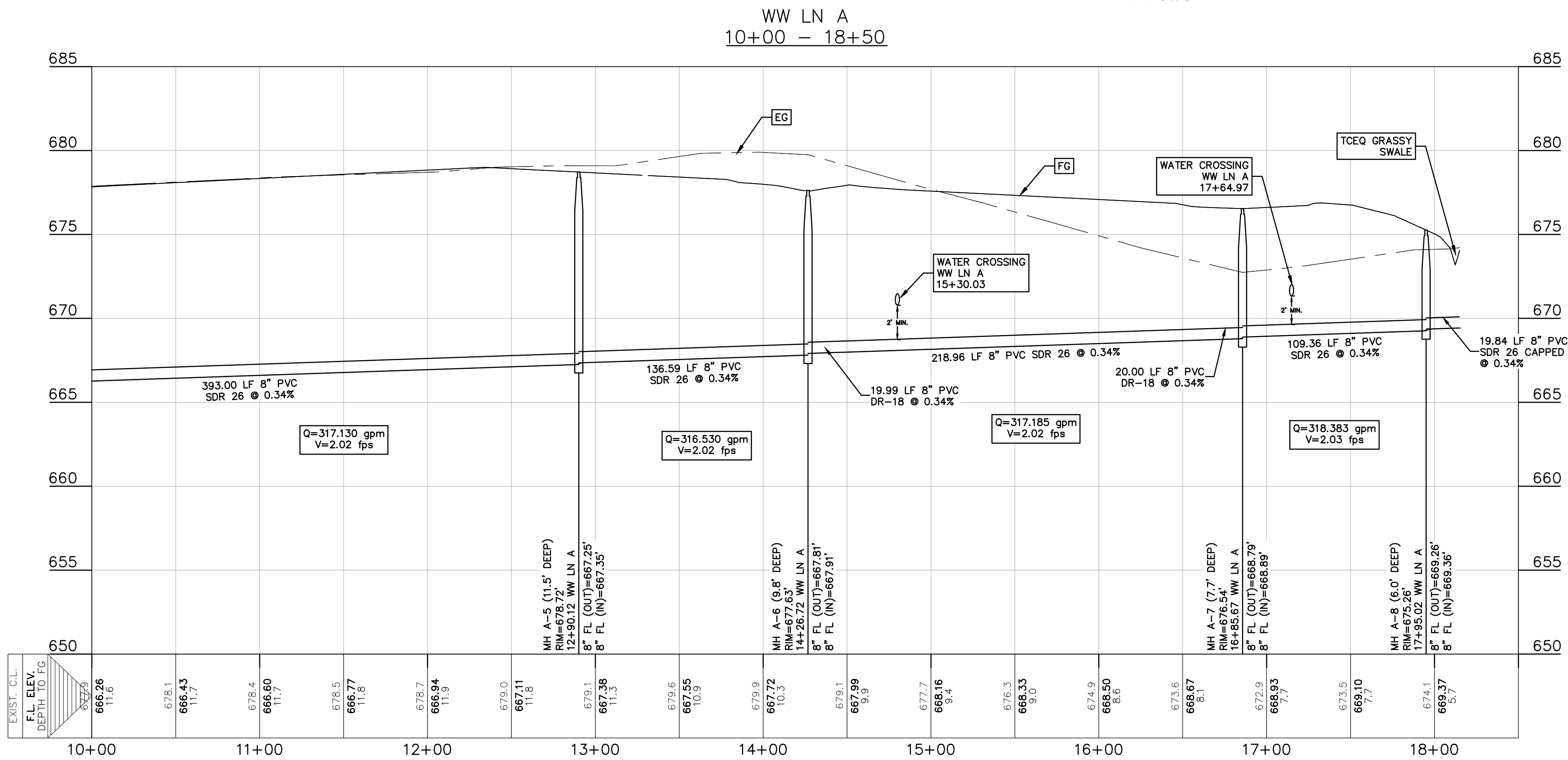


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CHRISTOPHER P. VAN HEERDE
P.E. #93047 ON 6/3/20.
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Chris Van Heerde, P.E.

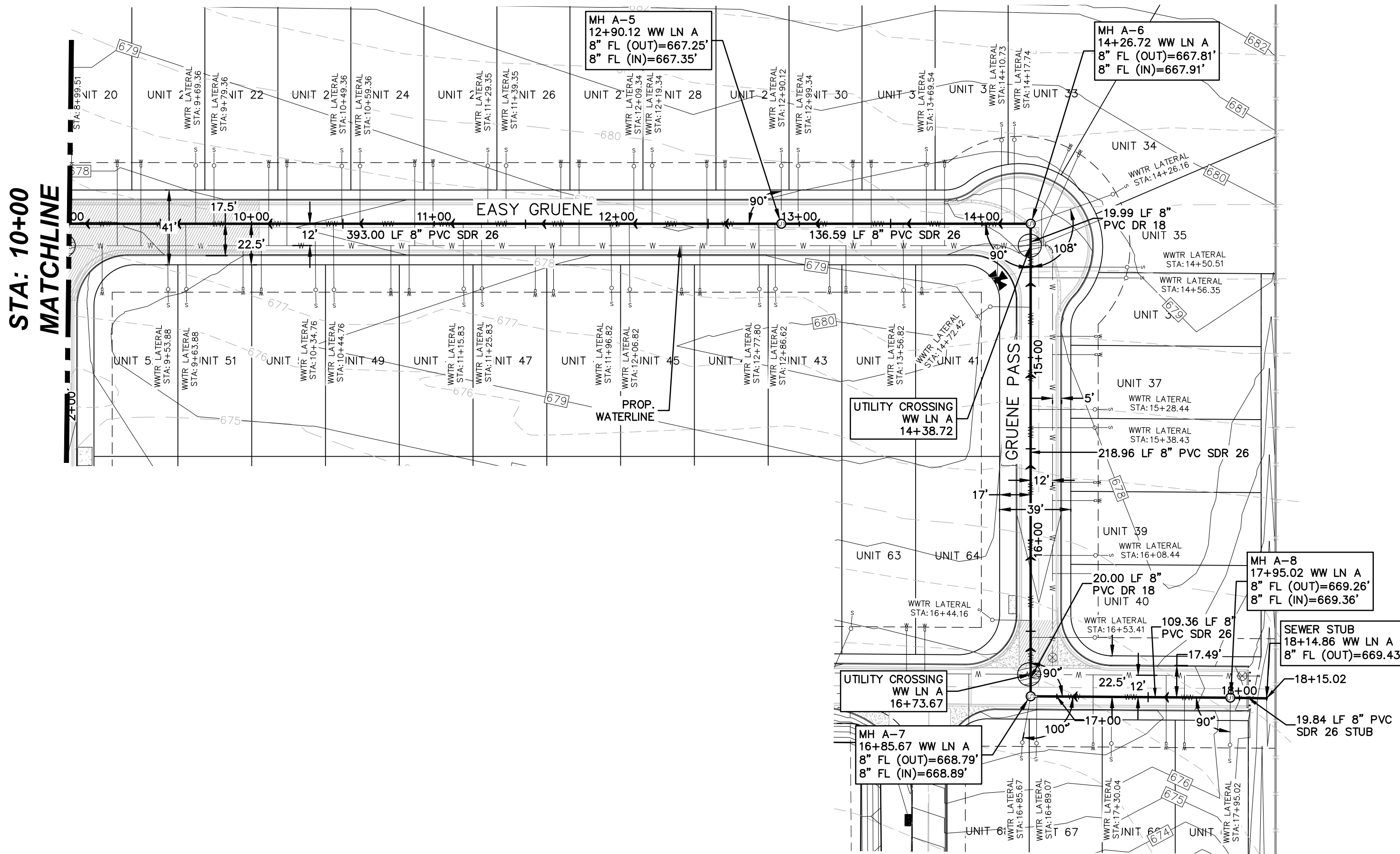
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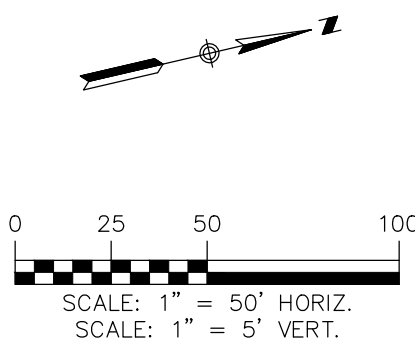


CONSTRUCTION NOTES:

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	PROPOSED CONTOURS
	B.L. BUILDING SETBACK LINE
	UTILITY EASEMENT
	DRAINAGE EASEMENT
	EXISTING WASTEWATER LINE
	PROPOSED WASTEWATER LINE
	PROPOSED WASTEWATER SERVICE
	UTILITY CROSSING

WASTEWATER LINE - A PLAN AND PROFILE (2 OF 2) VILLAGE AT GRUENE CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

SHEET
C8.3

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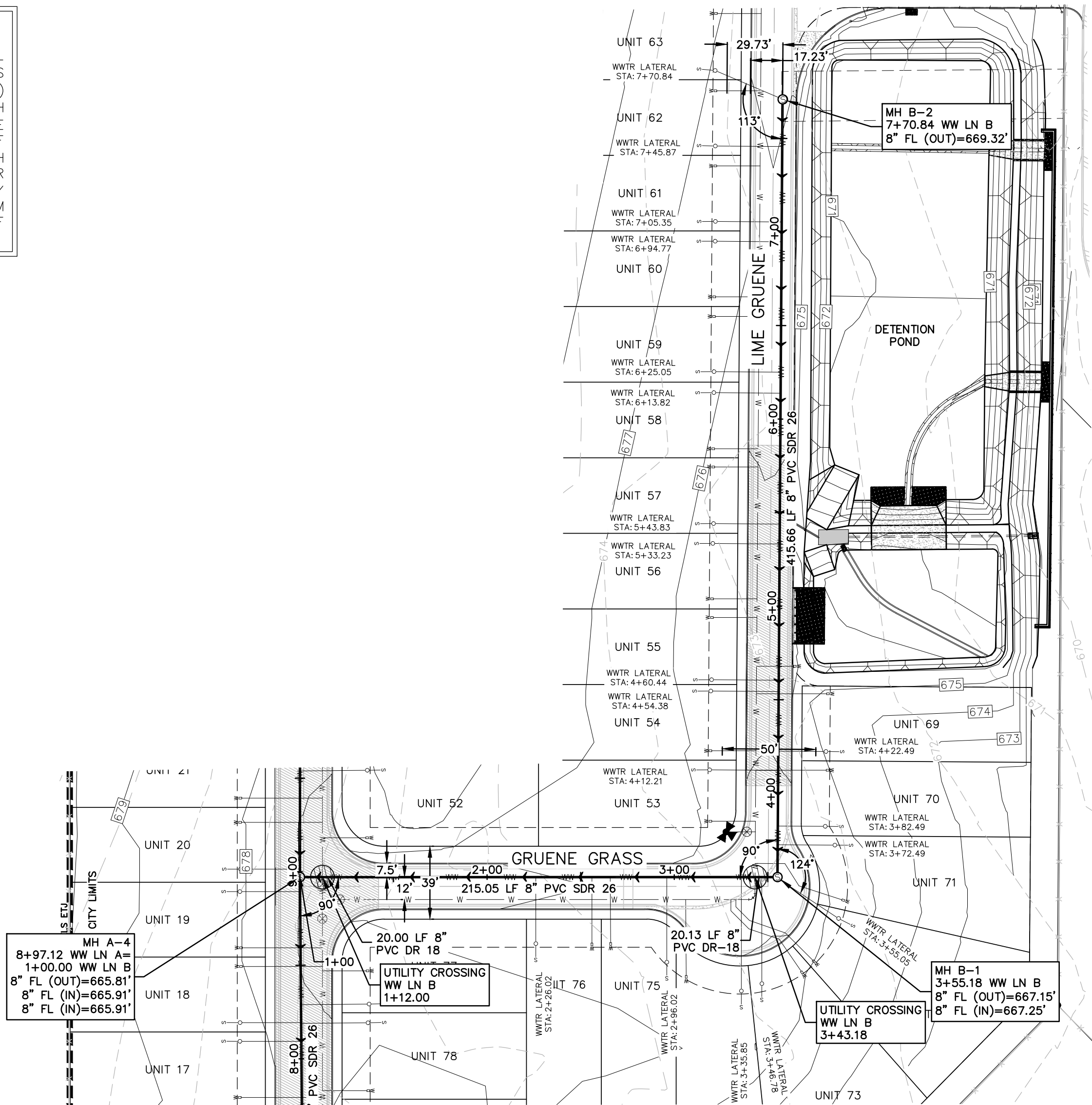
Chris Van Heerde, P.E.

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NEW BRAUNFELS, TX 78130
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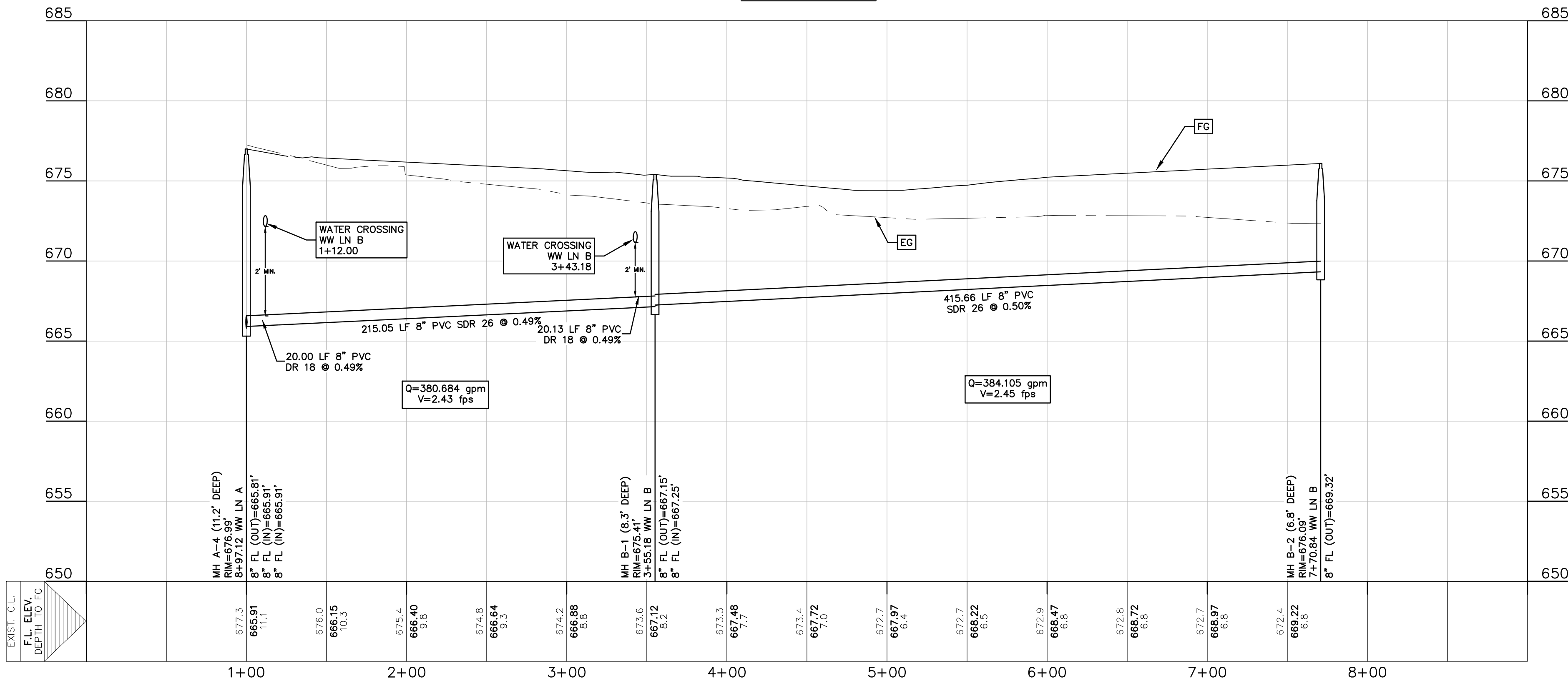
HMT
ENGINEERING & SURVEYING

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WW LN B
0+00 - 9+00



VILLAGE AT GRUENE ONSITE SEWER COMPONENTS LIST	
LUE COUNT = 89	
COUNT	PART
2,307 LF	8" SDR-26 PVC MAIN
80 LF	8" DR-18 PVC MAIN
10	MANHOLES
89	SERVICE LINES & CLEANOUT

REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

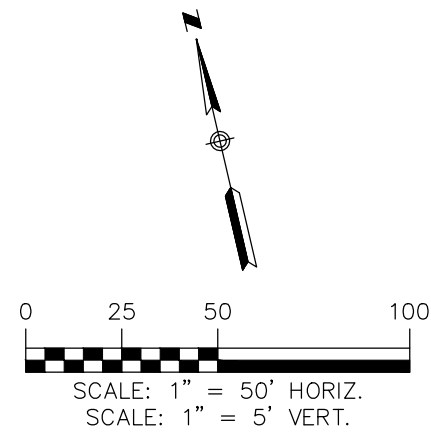
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---	PROPOSED CONTOURS
B.L.	BUILDING SETBACK LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
---	EXISTING WASTEWATER LINE
---	PROPOSED WASTEWATER LINE
---	PROPOSED WASTEWATER SERVICE
---	UTILITY CROSSING

WASTEWATER LINE B
PLAN AND PROFILE
VILLAGE AT GRUENE
CONDOMINIUMS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.:
170.004

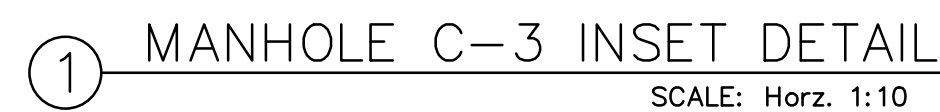
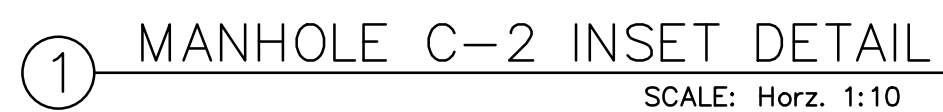
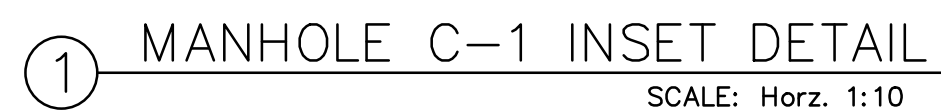
SHEET
C8.4

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

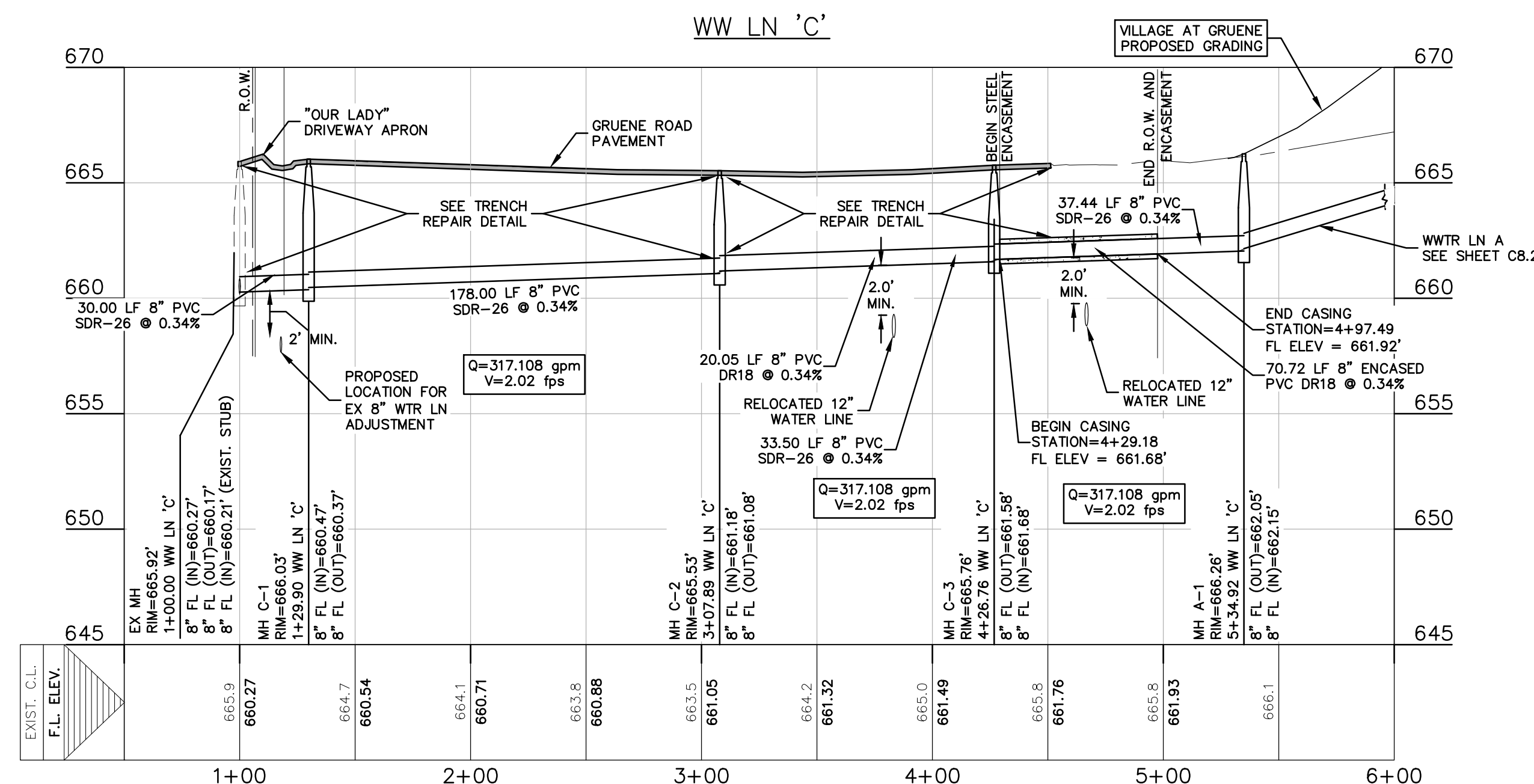


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P.E. #9047 ON 6/3/20.
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Chris Van Heerde, P.E.



- (D) is supported by spacers between the collection system pipe and the encasing pipe at a maximum of five-foot intervals.

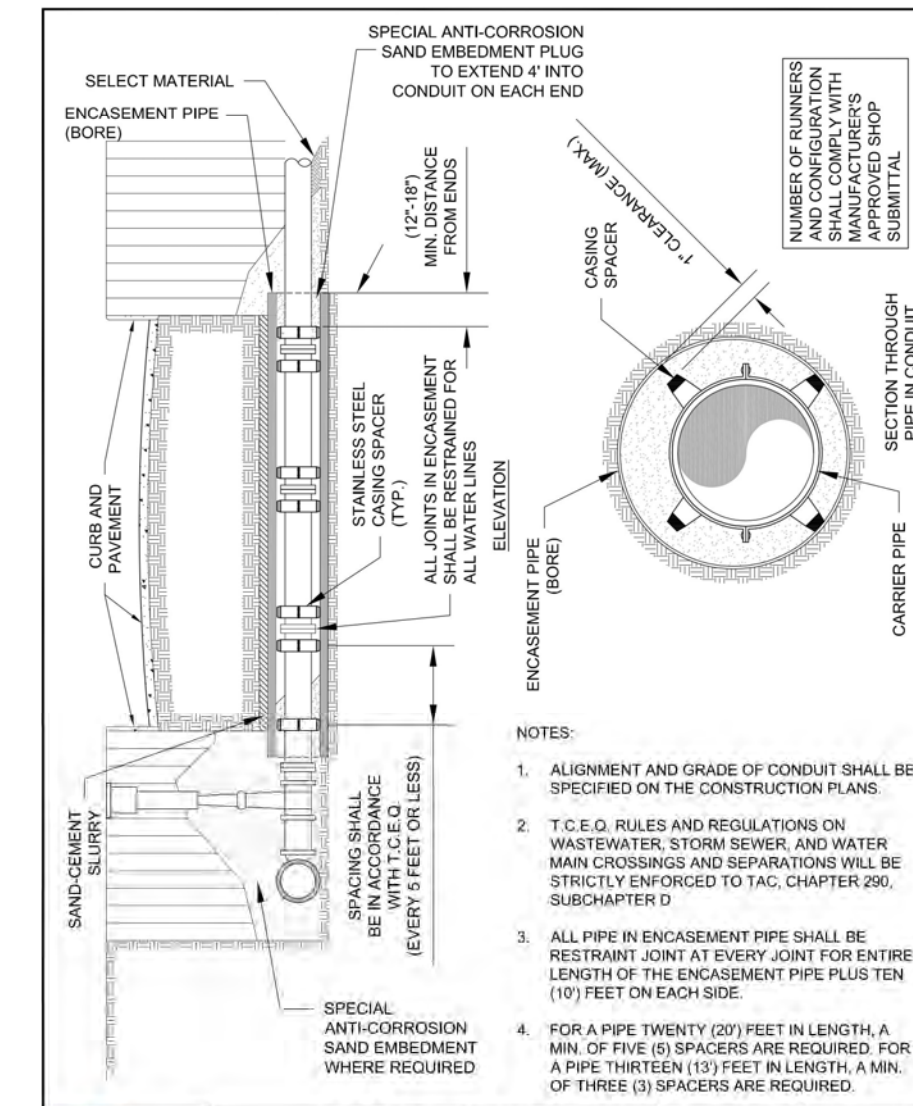


MANHOLE A-1 COUNTED AS PART
OF ONSITE SEWER COMPONENTS
LIST (SEE SHEET C8.1).

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SHEET
C8.5



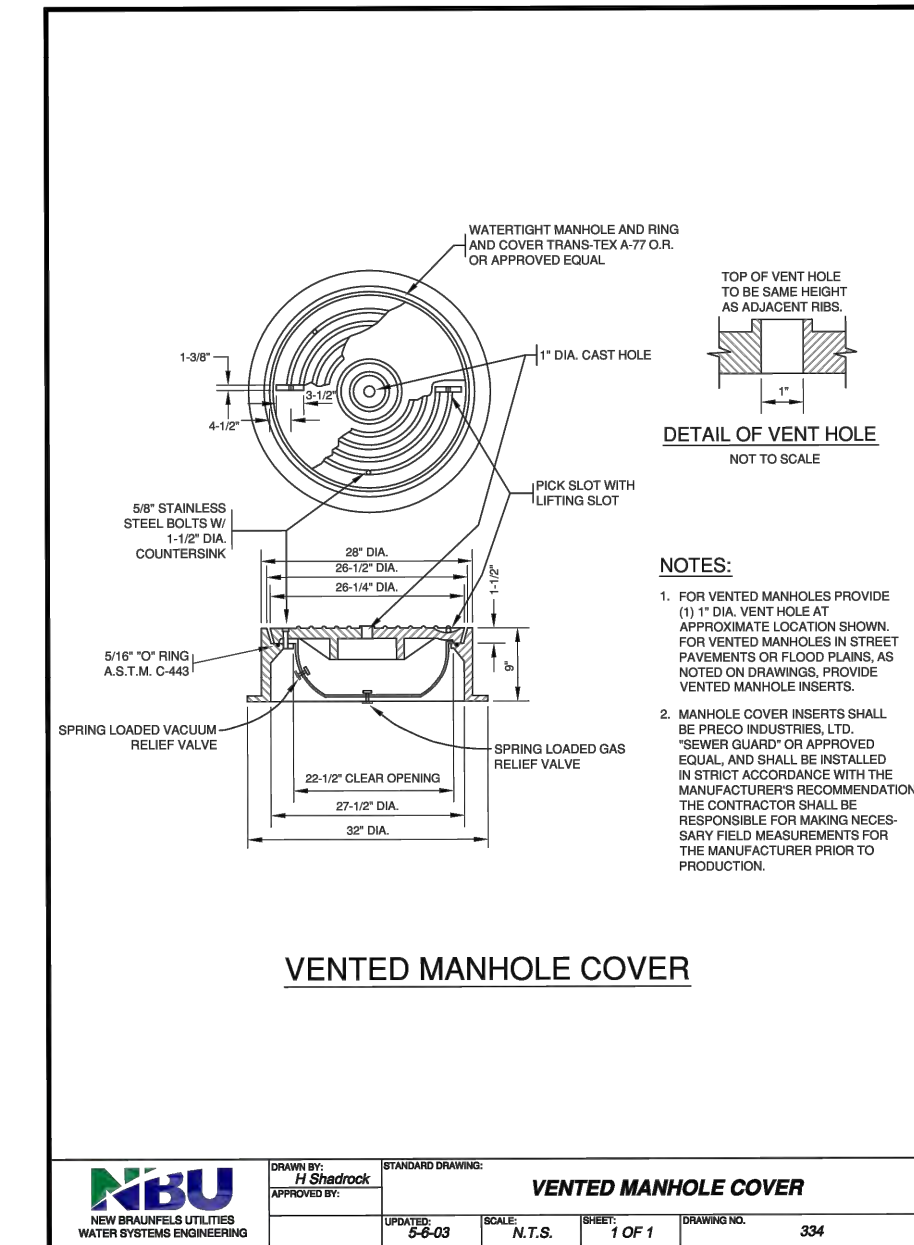
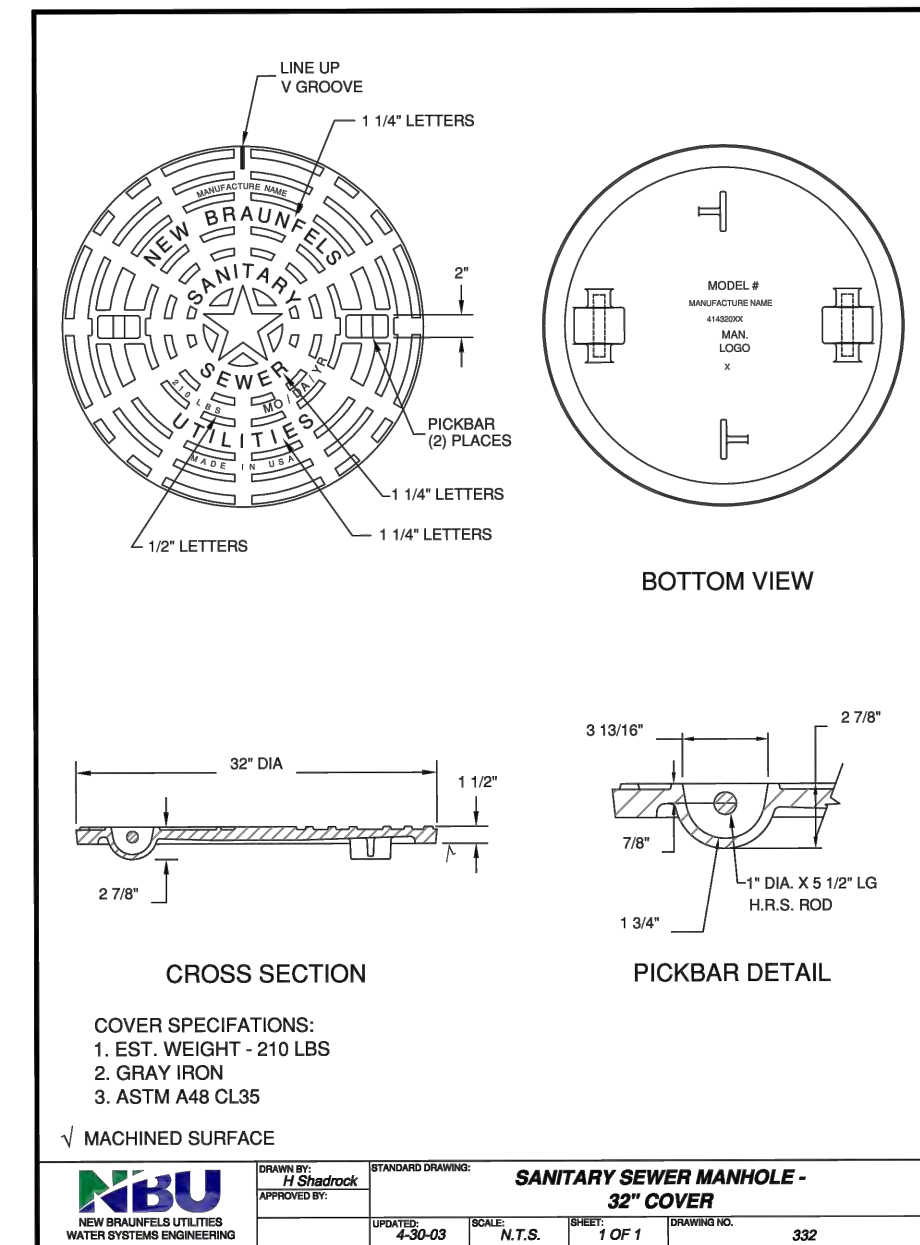
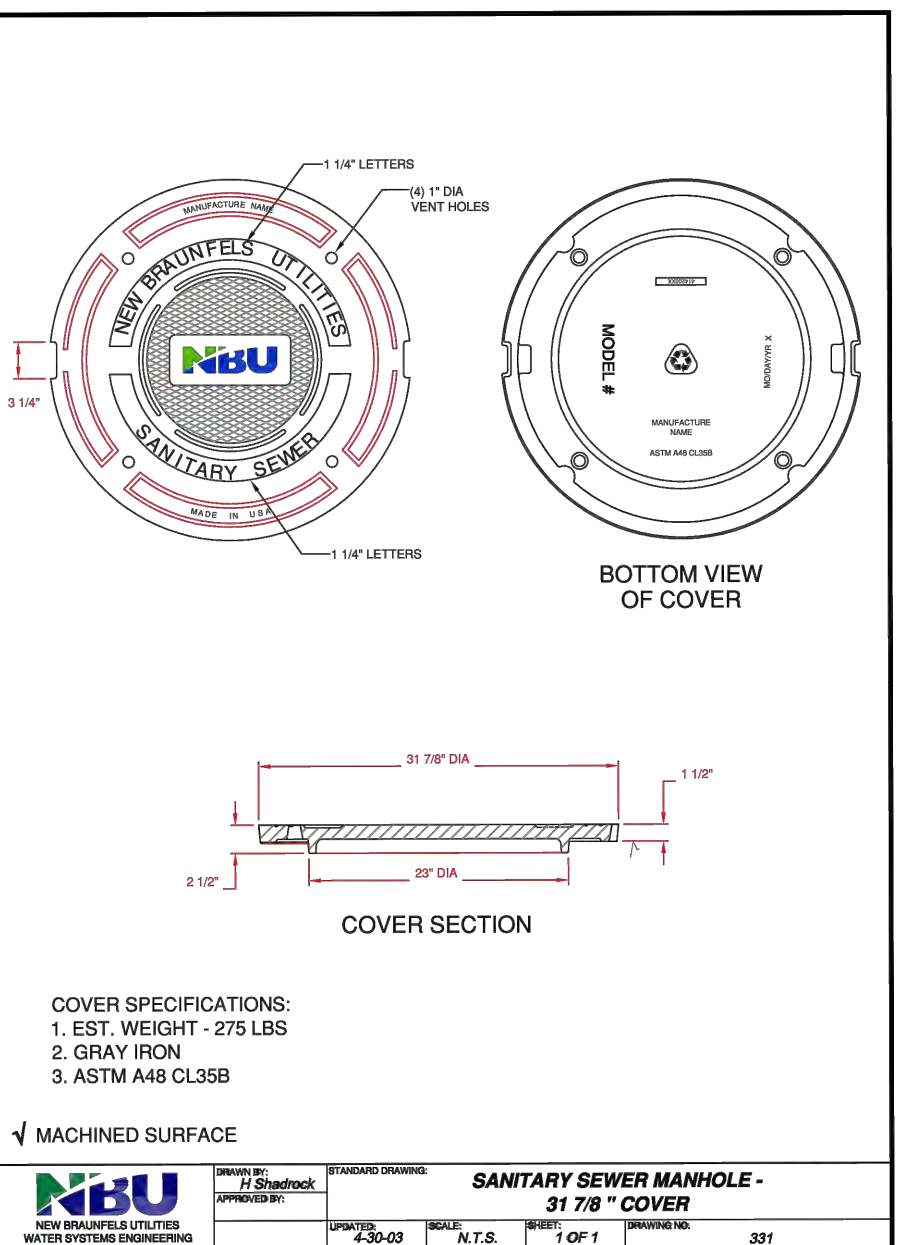
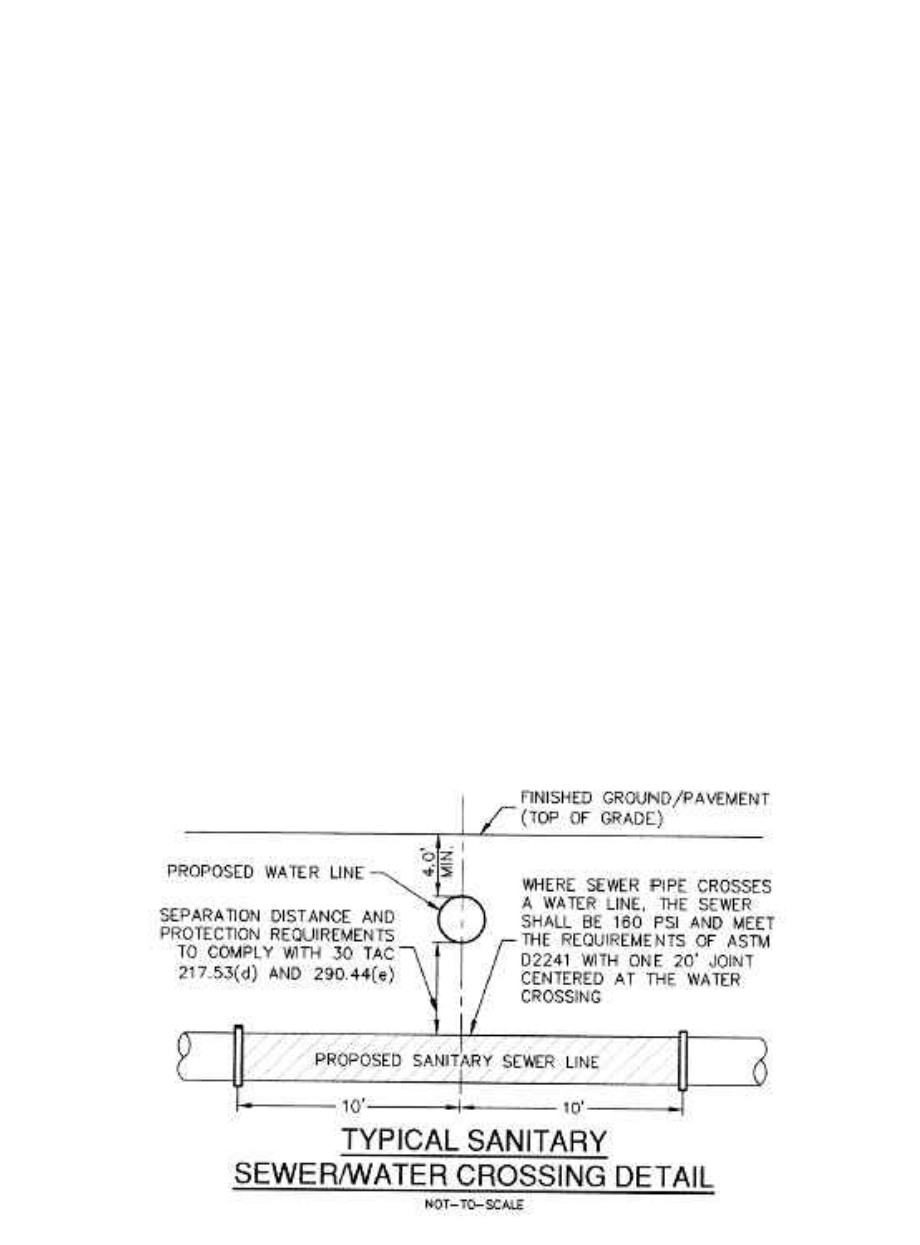
PROJECT: 2024-01-001

DATE: 2024-01-01

REVISION: 1.0

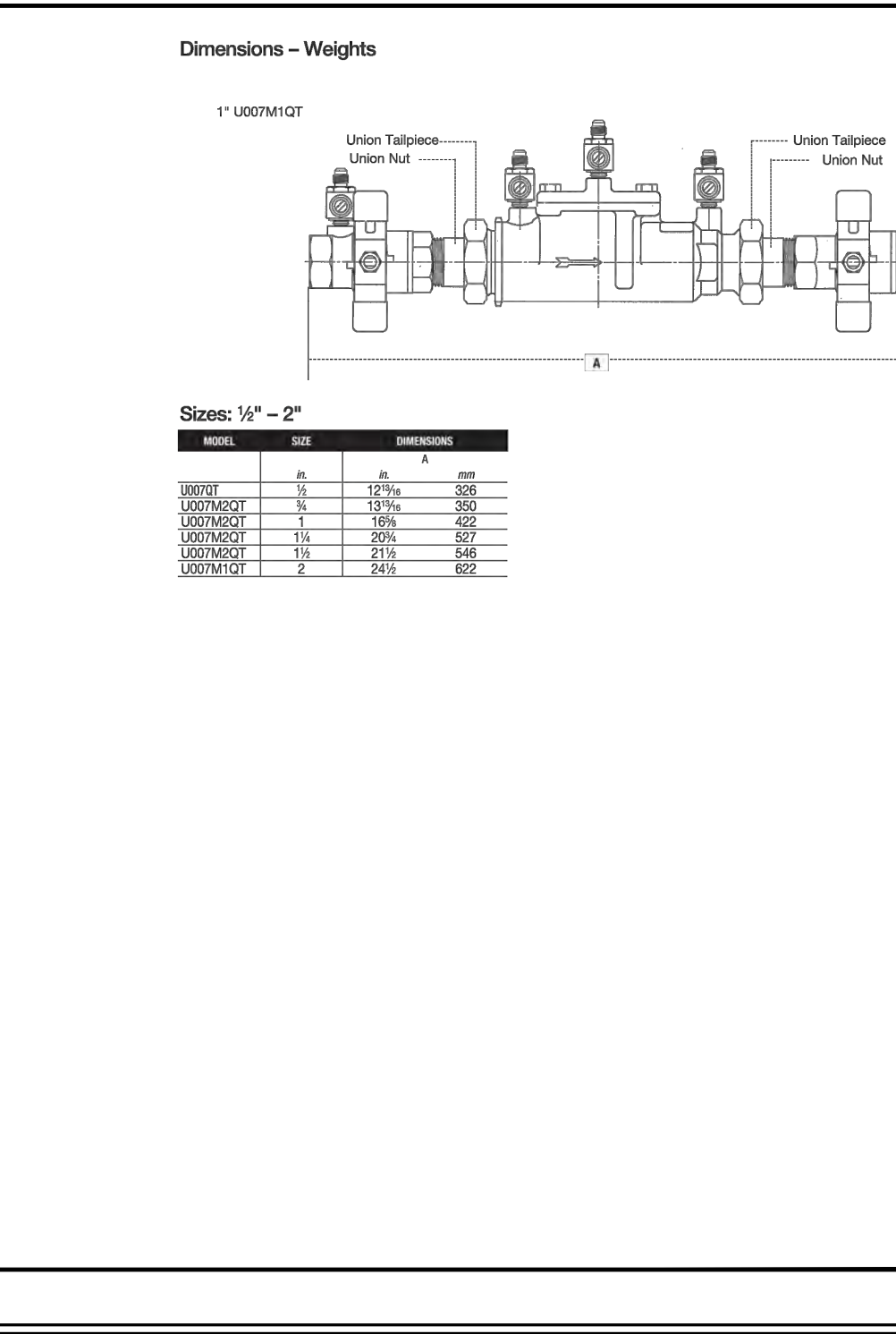
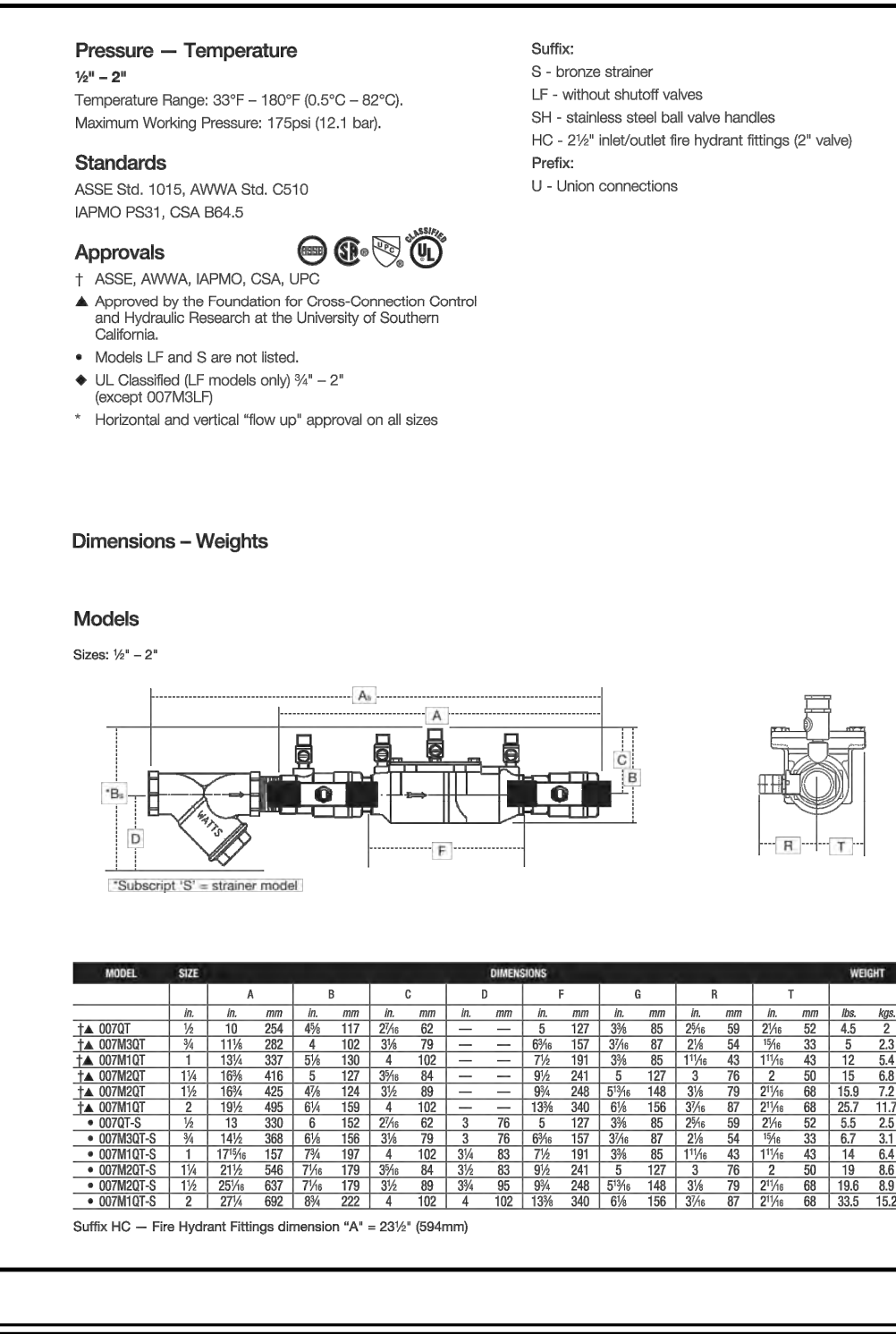
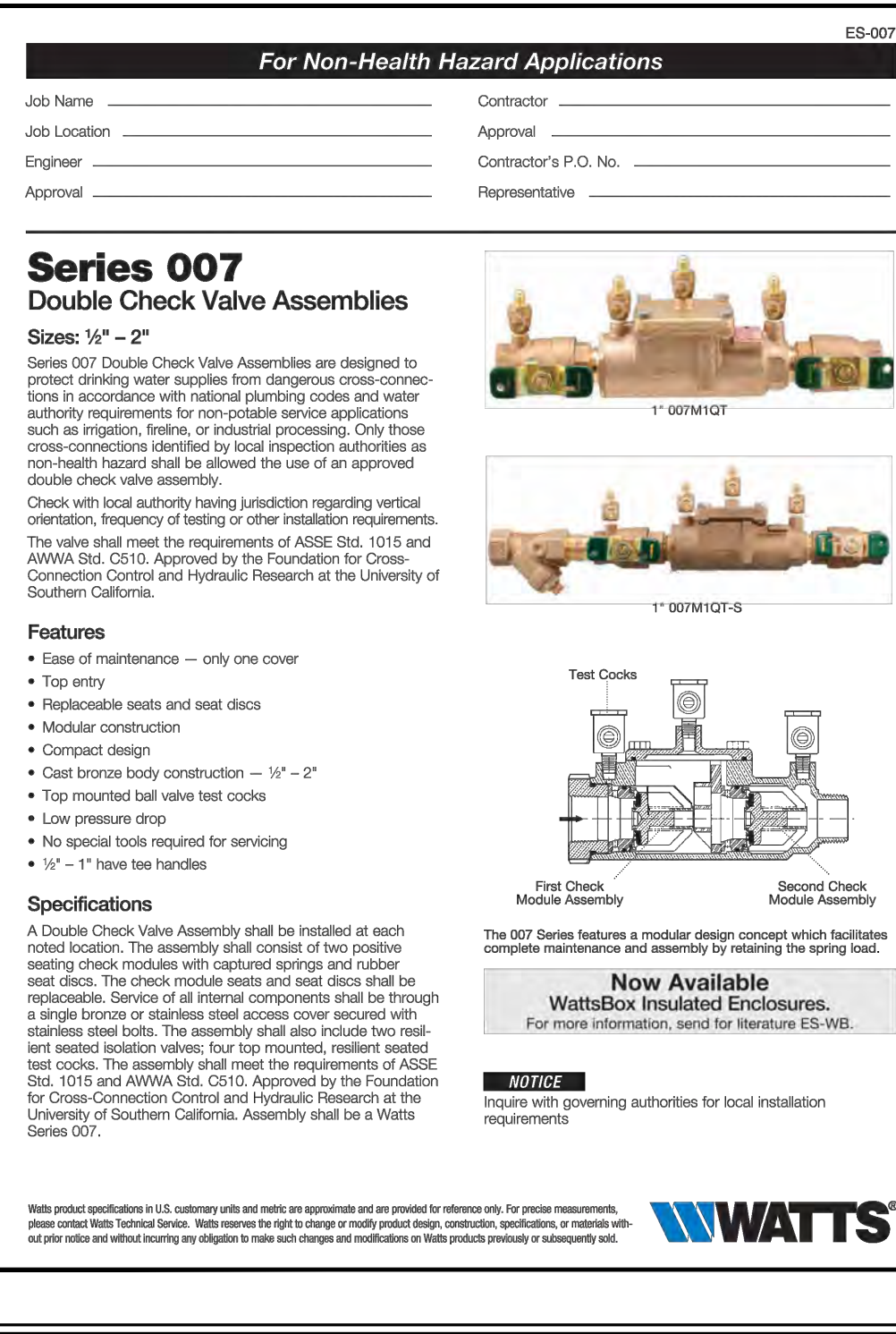
SHEET

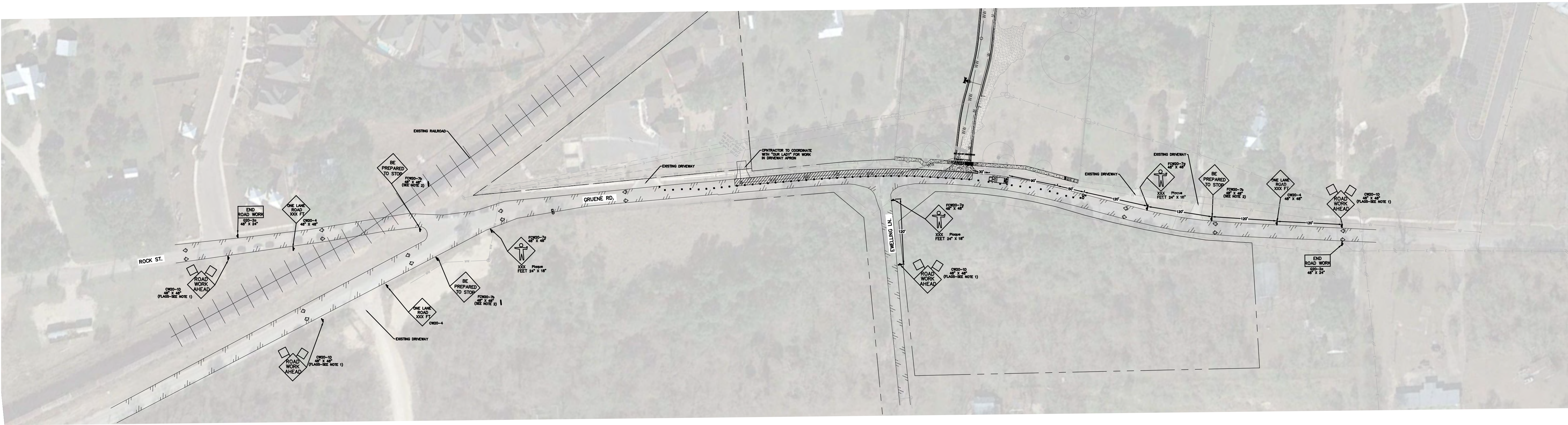
C8.6



C8.6

C9.1





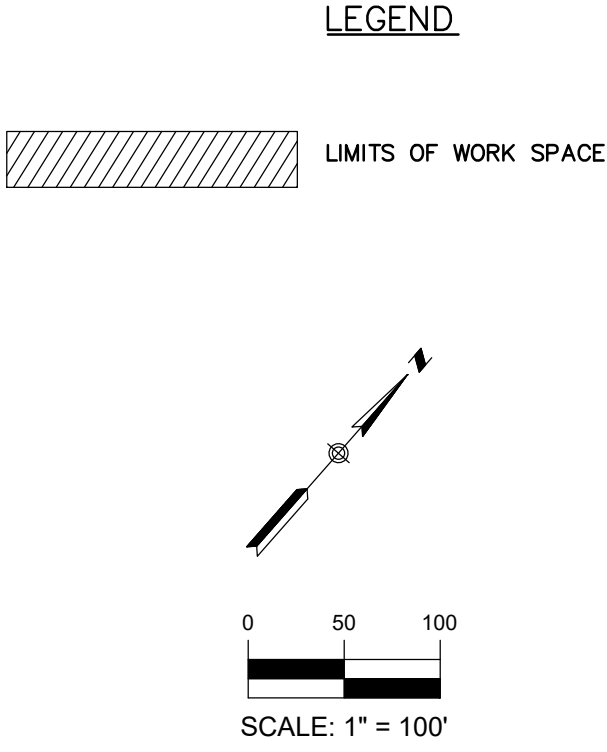
- GENERAL NOTES
1. FLAGS ATTACHED TO SIGNS WHERE SHOWN, ARE REQUIRED.
 2. ALL TRAFFIC CONTROL DEVICES ILLUSTRATED ARE REQUIRED, EXCEPT THOSE DENOTED WITH THE TRIANGLE. SYMBOL MAY BE OMITTED WHEN STATED ELSEWHERE IN THE PLANS, OR FOR ROUTINE MAINTENANCE WORK, WHEN APPROVED BY THE ENGINEER.
 3. THE DOWNSTREAM TAPER IS OPTIONAL. WHEN USED, IT SHOULD BE 100 FEET MINIMUM LENGTH PER LANE.
 4. FOR SHORT TERM APPLICATIONS, WHEN POST MOUNTED SIGNS ARE NOT USED, THE DISTANCE LEGEND MAY BE SHOWN ON THE SIGN FACE RATHER THAN ON A CWI6-SAP SUPPLEMENTAL PLAQUE.
 5. A SHADOW VEHICLE WITH A TMA SHOULD BE USED ANYTIME IT CAN BE POSITIONED 30 TO 100 FEET IN ADVANCE OF THE AREA OF CREW EXPOSURE WITHOUT ADVERSELY AFFECTING THE PERFORMANCE OR QUALITY OF THE WORK. IF WORKERS ARE NO LONGER PRESENT BUT ROAD OR WORK CONDITIONS REQUIRE THE TRAFFIC CONTROL TO REMAIN IN PLACE, TYPE 3 BARRICADES OR OTHER CHANNELIZING DEVICES MAY BE SUBSTITUTED FOR THE SHADOW VEHICLE AND TMA.
 6. ADDITIONAL SHADOW VEHICLES WITH TMAS MAY BE POSITIONED IN EACH CLOSED LANE, ON THE SHOULDER OR OFF THE PAVED SURFACE, NEXT TO THOSE SHOWN IN ORDER TO PROTECT A WIDER WORK SPACE.
 7. ADVANCED WARNING SIGNS WILL REMAIN IN PLACE DURING THE DURATION OF THE DEVELOPMENT CONSTRUCTION FOR ADDITIONAL CONSTRUCTION VEHICLE TRAFFIC ENTERING AND EXITING THE DEVELOPMENT SITE.
 8. IF THIS TCP IS USED FOR A LEFT LANE CLOSURE, CWI20-STL "LEFT LANE CLOSED" SIGNS SHALL BE USED AND CHANNELIZING DEVICES SHALL BE PLACED ON THE CENTERLINE TO PROTECT THE WORK SPACE FROM OPPOSING TRAFFIC WITH THE ARROW BOARD PLACED IN THE CLOSED LANE NEAR THE END OF THE MERGING TAPER.

TCP (2-4a)

LEGEND									
	TYPE 3 BARRICADE		CHANNELIZING DEVICES						
	HEAVY WORK VEHICLE		TRUCK MOUNTED ATTENUATOR (TMA)						
	TRAILER MOUNTED FLASHING ARROW BOARD		PORTABLE CHANGEABLE MESSAGE SIGN (PCMS)						
	SIGN		TRAFFIC FLOW						
	FLAG		FLAGGER						

POSTED SPEED	FORMULA	MINIMUM DESIRABLE TAPER LENGTHS * *			SUGGESTED MAXIMUM SPACING OF CHANNELIZING DEVICES		MINIMUM SIGN SPACING * "A"	SUGGESTED LONGITUDINAL BUFFER SPACE "B"
*		10' OFFSET	11' OFFSET	12' OFFSET	ON A TAPER	ON A TANGENT	DISTANCE	
30	L=WS 60	150'	165'	180'	30'	60'	120'	90'
35		205'	225'	245'	35'	70'	160'	120'
40	L=WS	265'	295'	320'	40'	80'	240'	155'
45		450'	495'	540'	45'	90'	320'	195'
50		500'	550'	600'	50'	100'	400'	240'
55		550'	605'	660'	55'	110'	500'	295'
60		600'	660'	720'	60'	120'	600'	350'
65		650'	715'	780'	65'	130'	700'	410'
70		700'	770'	840'	70'	140'	800'	475'
75		750'	825'	900'	75'	150'	900'	540'

* CONVENTIONAL ROADS ONLY
** TAPER LENGTHS HAVE BEEN ROUNDED OFF.
L=LENGTH OF TAPER(FT) W=WIDTH OF OFFSET(FT) S=POSTED SPEED(MPH)



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Chris Van Heerde, P.E.

TRAFFIC CONTROL PLAN

VILLAGE AT GRUENE CONDOMINIUMS

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JUNE 2020

DRAWN BY: HLC

DESIGNED BY: HLC

REVIEWED BY: CVH

HMT PROJECT NO.: 170.004

SHEET

C10.1

DATE:



For construction or maintenance contract work, specific project requirements for shadow vehicles can be found in the project GENERAL NOTES for Item 502, Barricades, Signs and Traffic Handling.

TRAFFIC CONTROL PLAN
ONE-LANE TWO-WAY
TRAFFIC CONTROL

TCP (1-2) - 12

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C10.2